



**Charlotte-Mecklenburg Planning, Design, & Development**

**DATE:** September 16, 2021

**TO:** Sonja Sanders  
Zoning Supervisor

**FROM:** Taiwo Jaiyeoba  
Planning Director

**SUBJECT:** Administrative Approval for Petition No. 2020-035 CCP University, LLC

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- Modification to the proposed streetscape and sidewalk along a portion of IBM Drive.

Staff supports of the request because:

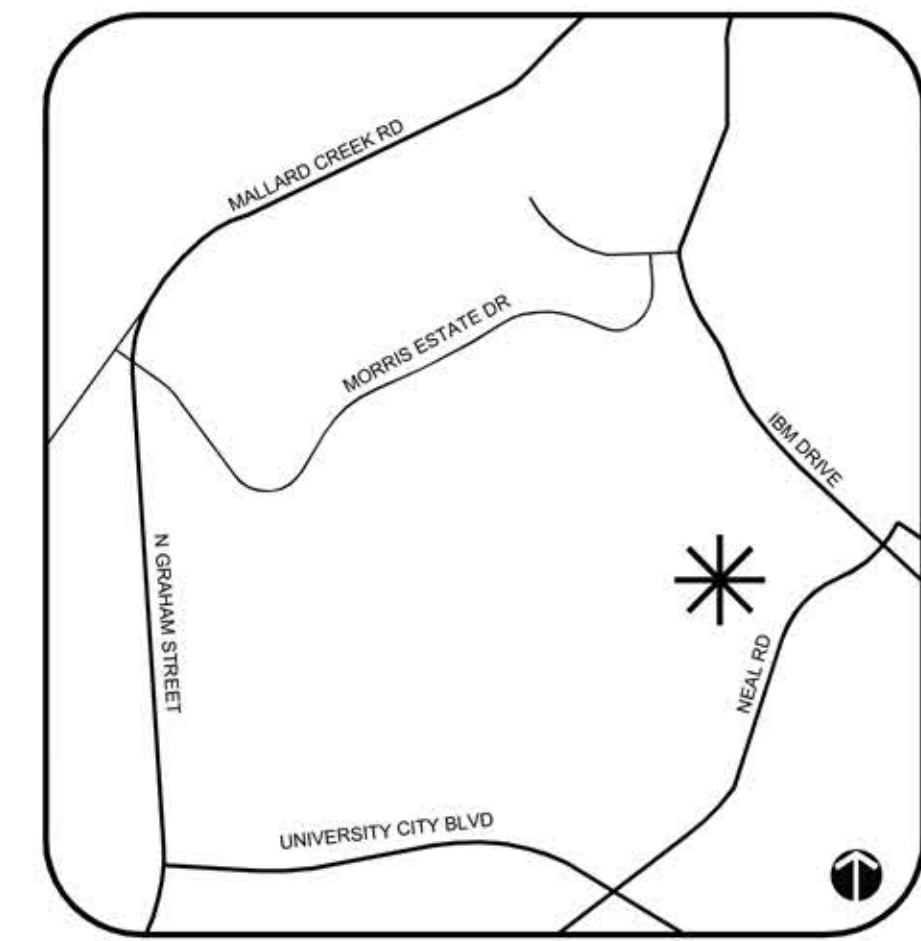
- The site plan complies with the conditional notes and still meets the intent of the original approval by the City Council.

**Note: All other Zoning, Subdivision, Tree, PCSO Ordinances, conditional requirements and building codes still apply.**

**Signage was not reviewed as part of this request.**

# ADMINISTRATIVE AMENDMENT # RZAAMA-2021-00044

Planning Department  
**APPROVED BY CITY COUNCIL**  
 October 19, 2020



VICINITY MAP  
 NTS

## SITE DEVELOPMENT DATA

SITE AREA: +/- 49 ACRES  
 TAX PARCELS: PORTION OF 047-112-01  
 EXISTING ZONING: R-4 & RE-2  
 PROPOSED ZONING: R-8MF(CD)  
 EXISTING USE: RESIDENTIAL  
 PROPOSED USES: UP TO 300 RESIDENTIAL DWELLING UNITS, INCLUDING MULTI-FAMILY UNITS AND SINGLE-FAMILY ATTACHED (TOWNHOME) UNITS, AS FURTHER DESCRIBED IN SECTION II, BELOW  
 MAXIMUM BUILDING HEIGHT: THREE STORIES AND UP TO FORTY-FIVE (45) FEET AS MEASURED PER THE ORDINANCE

**NOT FOR CONSTRUCTION**

## WAYFORD RESIDENTIAL

CHARLOTTE, NC  
 REZONING #2020-035

LANDDESIGN PROJ # 1019430

REVISION / ISSUANCE		
NO.	DESCRIPTION	DATE
1	INITIAL REZONING SUBMITTAL	02.04.2020
2	PER CITY COMMENTS	04.13.2020
3	PER CITY COMMENTS	06.15.2020
4	PER CITY COMMENTS	10.08.2020
5	ADMINISTRATIVE AMENDMENT	08.27.2021

DESIGNED BY: JRY  
 DRAWN BY: CKS  
 CHECKED BY: KST

SCALE: NORTH

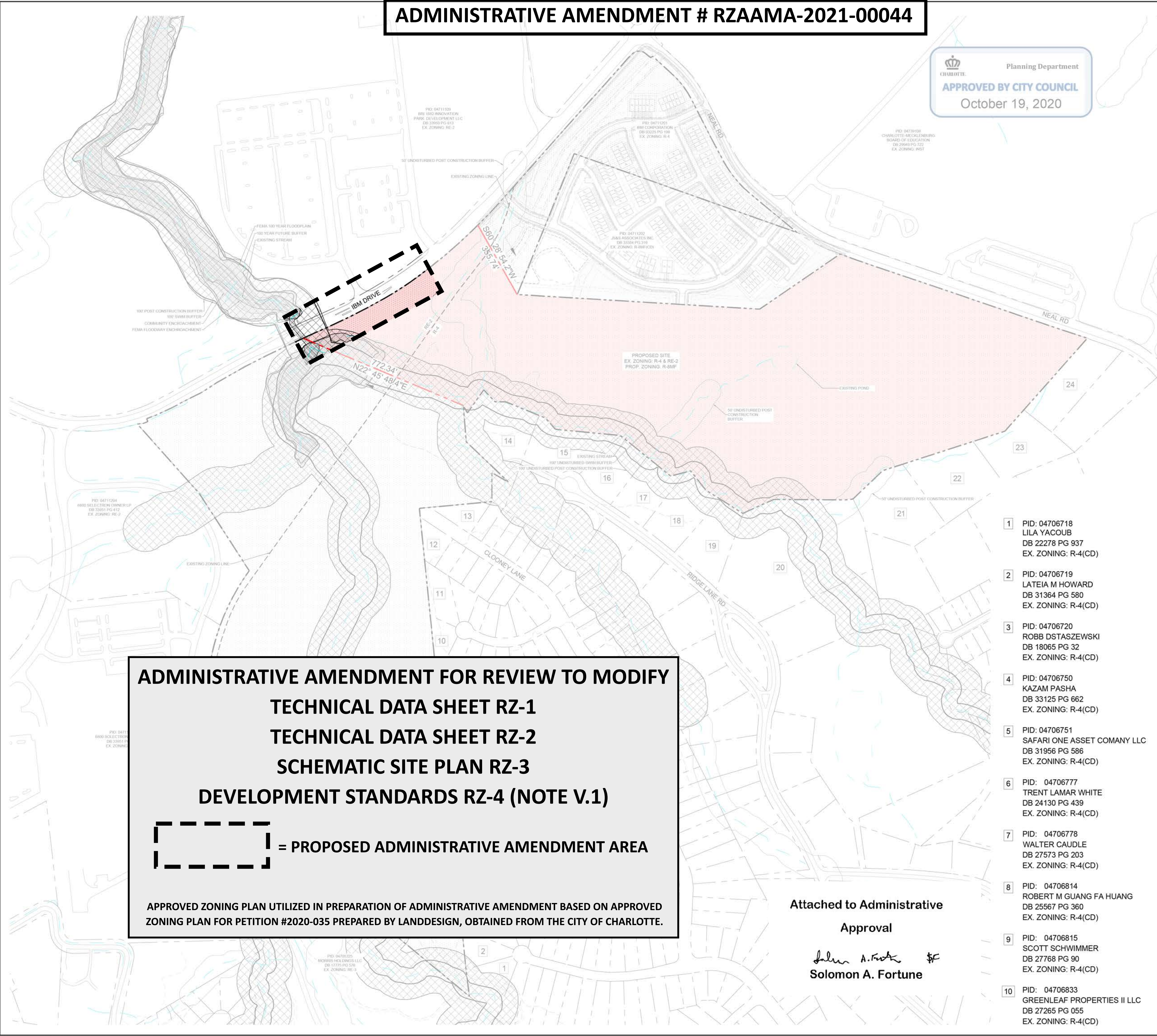
VERT: N/A  
 HORZ: 1"=200'

0 100' 200' 400'

TECHNICAL DATA SHEET

SHEET NUMBER

RZ-1



**ADMINISTRATIVE AMENDMENT FOR REVIEW TO MODIFY  
 TECHNICAL DATA SHEET RZ-1  
 TECHNICAL DATA SHEET RZ-2  
 SCHEMATIC SITE PLAN RZ-3  
 DEVELOPMENT STANDARDS RZ-4 (NOTE V.1)**

**[Dashed Box] = PROPOSED ADMINISTRATIVE AMENDMENT AREA**

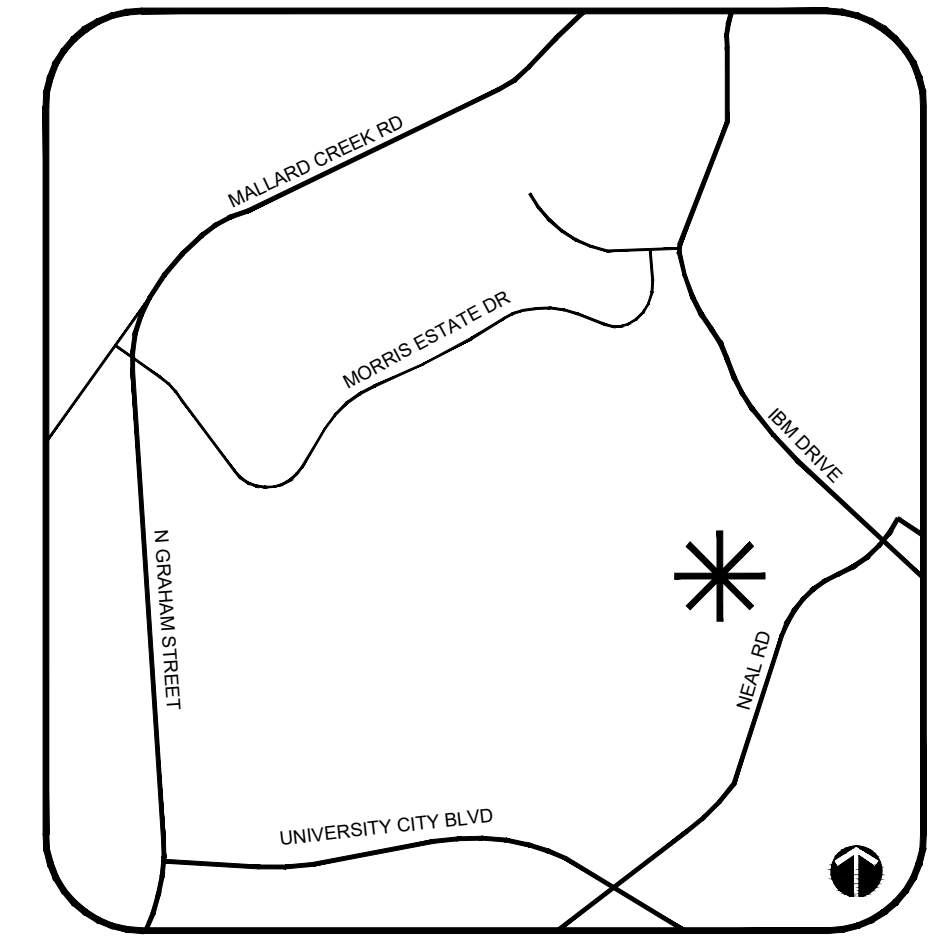
APPROVED ZONING PLAN UTILIZED IN PREPARATION OF ADMINISTRATIVE AMENDMENT BASED ON APPROVED ZONING PLAN FOR PETITION #2020-035 PREPARED BY LANDESIGN, OBTAINED FROM THE CITY OF CHARLOTTE.

Attached to Administrative Approval

*Solomon A. Fortune*  
**Solomon A. Fortune**

- |    |  |    |  |    |   |
|----|--|----|--|----|---|
| 1  | PID: 04706718<br>LILA YACOUB<br>DB 22278 PG 937<br>EX. ZONING: R-4(CD)                 | 21 | PID: 04706834<br>RALPH BLACK<br>DB 16990 PG 607<br>EX. ZONING: R-4(CD)     | 21 | PID: 04707109<br>ROBERT CLAYTON JR<br>COWHERD<br>DB 31846 PG 987<br>EX. ZONING: R-3 |
| 2  | PID: 04706719<br>LATEIA M HOWARD<br>DB 31364 PG 580<br>EX. ZONING: R-4(CD)             | 22 | PID: 04706846<br>MARTY HUA<br>DB 25999 PG 268<br>EX. ZONING: R-4(CD)       | 22 | PID: 04707111<br>ERIC D SWANSON<br>DB 18394 PG 375<br>EX. ZONING: R-3               |
| 3  | PID: 04706720<br>ROBB DSTASZEWSKI<br>DB 18065 PG 32<br>EX. ZONING: R-4(CD)             | 23 | PID: 04706847<br>ADAM REISIG<br>DB 31682 PG 268<br>EX. ZONING: R-4(CD)     | 23 | PID: 04707112<br>ERIC D SWANSON<br>DB 18394 PG 375<br>EX. ZONING: R-3               |
| 4  | PID: 04706750<br>KAZAM PASHA<br>DB 33125 PG 662<br>EX. ZONING: R-4(CD)                 | 24 | PID: 04706514<br>JOHN C CHAPMAN<br>DB 20736 PG 52<br>EX. ZONING: R-3       | 24 | PID: 04707105<br>CHARLES JR RODDEN<br>DB 16621 PG 581<br>EX. ZONING: R-3            |
| 5  | PID: 04706751<br>SAFARI ONE ASSET COMANY LLC<br>DB 31956 PG 586<br>EX. ZONING: R-4(CD) | 15 | PID: 04706516<br>AARON ELIAS MCOWEN<br>DB 33899 PG 783<br>EX. ZONING: R-3  |    |   |
| 6  | PID: 04706777<br>TRENT LAMAR WHITE<br>DB 24130 PG 439<br>EX. ZONING: R-4(CD)           | 16 | PID: 04706537<br>JOHN W MILLER<br>DB 30828 PG 61<br>EX. ZONING: R-3        |    |   |
| 7  | PID: 04706778<br>WALTER CAUDLE<br>DB 27573 PG 203<br>EX. ZONING: R-4(CD)               | 17 | PID: 04706518<br>ANDREW T CLINE<br>DB 32569 PG 673<br>EX. ZONING: R-3      |    |   |
| 8  | PID: 04706814<br>ROBERT M GUANG FA HUANG<br>DB 25567 PG 360<br>EX. ZONING: R-4(CD)     | 18 | PID: 04706519<br>ROBERT P WARREN<br>DB 28106 PG 895<br>EX. ZONING: R-3     |    |   |
| 9  | PID: 04706815<br>SCOTT SCHWIMMER<br>DB 27768 PG 90<br>EX. ZONING: R-4(CD)              | 19 | PID: 04706520<br>CHRISTINE M FREEMAN<br>DB 20728 PG 869<br>EX. ZONING: R-3 |    |   |
| 10 | PID: 04706833<br>GREENLEAF PROPERTIES II LLC<br>DB 27265 PG 055<br>EX. ZONING: R-4(CD) | 20 | PID: 04706521<br>JAMES BEAN<br>DB 31950 PG 003<br>EX. ZONING: R-3          |    |   |

CHARTERED  
Planning Department  
**APPROVED BY CITY COUNCIL**  
October 19, 2020



VICINITY MAP  
NTS

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LANDDESIGN PROJ.# 1019430

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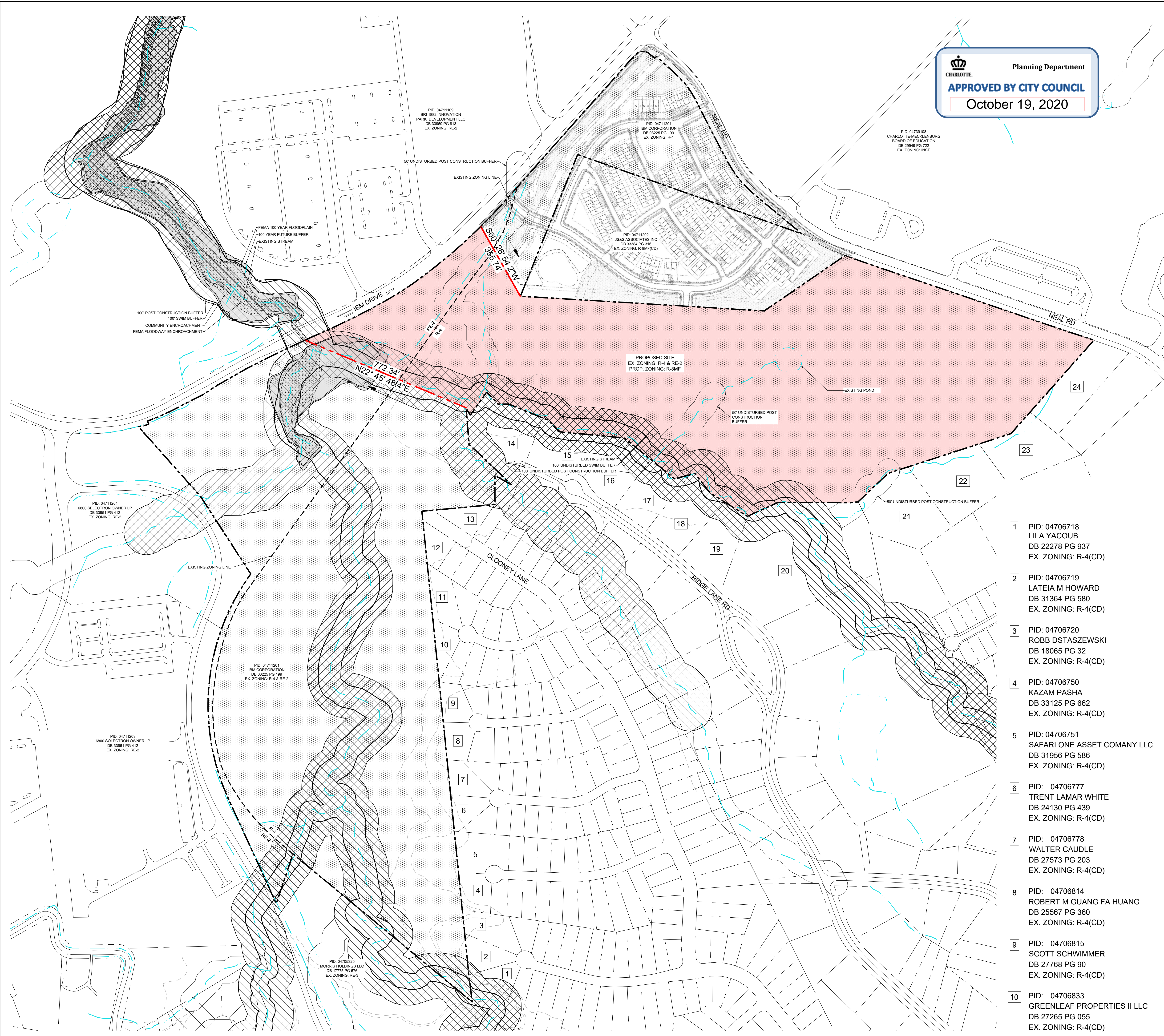
DESIGNED BY: JRY  
DRAWN BY: CKS  
CHECKED BY: KST

SCALE: NORTH  
VERT: N/A  
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0 100 200 400'

TECHNICAL DATA SHEET

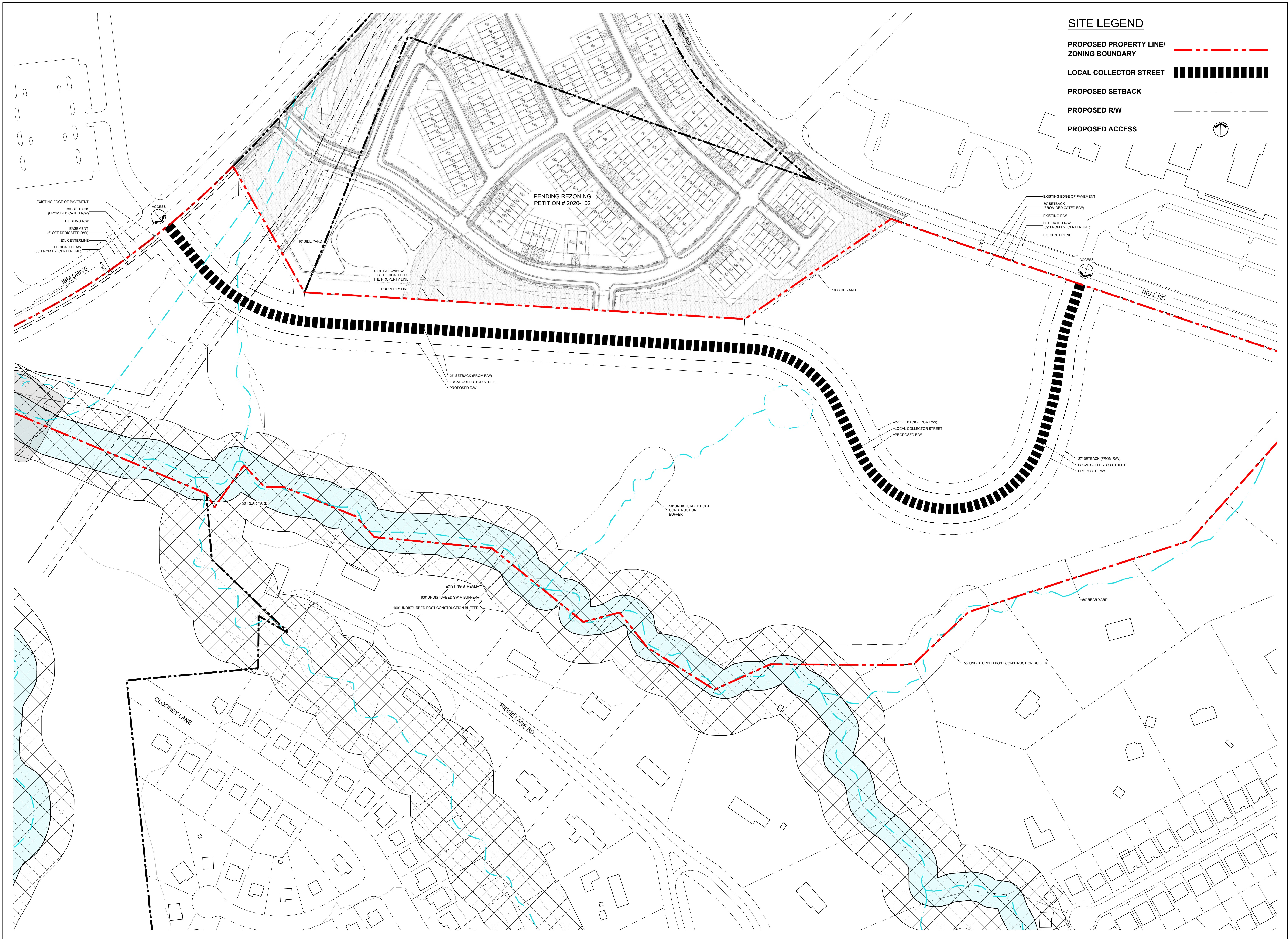
SHEET NUMBER

**RZ-1**



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|----|--|----|---|
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**SITE LEGEND**

- PROPOSED PROPERTY LINE/  
ZONING BOUNDARY**
- LOCAL COLLECTOR STREET**
- PROPOSED SETBACK**
- PROPOSED RW**
- PROPOSED ACCESS**

KEY MAP

SEAL

**NOT FOR  
CONSTRUCTION**

PROJECT

**WAYFORD  
RESIDENTIAL**

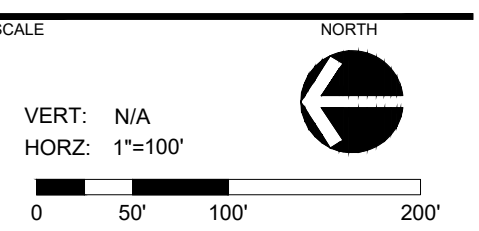
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DRAWN BY: CKS  
CHECKED BY: KST



SHEET TITLE


TECHINICAL DATA SHEET

SHEET NUMBER

**RZ-2**

# ADMINISTRATIVE AMENDMENT # RZAAMA-2021-00044

## SITE LEGEND

- PROPOSED SETBACK 
- PROPOSED R/W 
- END UNIT (ADJACENT TO R/W) 
- PROPOSED ACCESS 

Attached to Administrative  
Approval

*Solomon A. Fortune* &  
**Solomon A. Fortune**

6' SIDEWALK SHALL BE PROVIDED AT BACK OF CURB WITHIN THIS GENERAL AREA ON IBM DRIVE. SEE REVISED DEVELOPMENT STANDARDS NOTE V.1, SHEET RZ-4.



KEY MAP

SCALE

**NOT FOR  
CONSTRUCTION**

**WAYFORD  
RESIDENTIAL**


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DRAWN BY: CKS  
CHECKED BY: KST

SCALE: NORTH  
VERT: N/A  
HORZ: 1"=100'  


SHEET TITLE  
**SCHEMATIC SITE PLAN**

SHEET NUMBER  
**RZ-3**

**SITE LEGEND**

- PROPOSED SETBACK
- PROPOSED R/W
- END UNIT (ADJACENT TO R/W)
- PROPOSED ACCESS



KEY MAP

SCALE

**NOT FOR CONSTRUCTION**

PROJECT

**WAYFORD RESIDENTIAL**

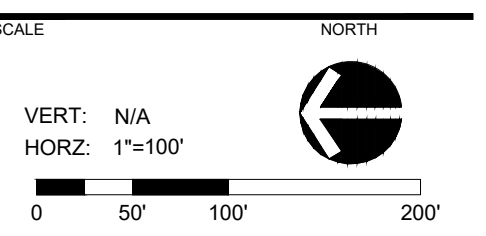
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DESIGNED BY: JRY  
DRAWN BY: CKS  
CHECKED BY: KST



SHEET TITLE

**SCHEMATIC SITE PLAN**

SHEET NUMBER

**RZ-3**

# ADMINISTRATIVE AMENDMENT # RZAAMA-2021-00044

**Development Data Table:**

Site Area: +/- 49 acres  
 Tax Parcels: Portion of 047-112-01  
 Existing Zoning: R-4 & RE-2  
 Proposed Zoning: R-8MF(CD)  
 Existing Use: Residential  
 Proposed Uses: Up to 300 Residential Dwelling Units, including multi-family units and single-family attached (townhome) units, as further described in Section II, below.  
 Maximum Building Height: Three Stories and up to Forty-five (45) feet as measured per the Ordinance

**I. General Provisions**

- These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by CCP University, LLC (the "Petitioner") to accommodate the development of a multi-family and single-family attached (townhome) residential community on that approximately 49-acre portion of a site located on the southwest side of the intersection of IBM Drive and Neal Road, more particularly depicted on the Rezoning Plan (the "Site"). The Site is comprised of a portion of Tax Parcel Number 047-112-01.
- Development of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance").
- Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the R-8MF zoning district shall govern the development and use of the Site.
- The development and street layout depicted on the Rezoning Plan are schematic in nature and are intended to depict the general arrangement of such uses and improvements on the Site. Accordingly, the ultimate layout, locations and sizes of the development and site elements depicted on the Rezoning Plan are graphic representations of the proposed development and site elements, and they may be altered or modified in accordance with the setback, yard, landscaping and tree save requirements set forth on this Rezoning Plan and the Development Standards, provided, however, that any such alterations and modifications shall be minor in nature and not materially change the overall design intent depicted on the Rezoning Plan.
- Future amendments to the Rezoning Plan and/or these Development Standards may be applied for by the then owner(s) of the Site in accordance with the provisions of Chapter 6 of the Ordinance. Minor alterations to the Rezoning Plan are subject to Section 6.207 of the Ordinance.

**II. Permitted Uses**

The Site may be devoted only to a residential community containing a maximum of 250 single-family attached (townhome) dwelling units, 50 multi-family residential units, and any incidental and accessory uses relating thereto that are allowed in the R-8MF zoning district.

**III. Transportation**

- As depicted on the Rezoning Plan, the Site will be served by internal public and private drives, and minor adjustments to the location of these drives shall be allowed during the construction permitting process.
- Access points shall be provided as generally depicted on the Rezoning Plan.
- The Petitioner shall construct and install the following improvements based on the approved Traffic Impact Study:
  - At the intersection of IBM Drive & Hewitt Associates Drive/Proposed Access "A" (Signalized):
    - One ingress and two egress (a northbound left turn lane with 100 feet of storage in addition to a combined thru-right lane) on Proposed Access "A";
    - Construct an eastbound right turn lane with 100 feet of storage on IBM Drive;
    - Remark the existing pavement to provide a westbound left turn lane with 100 feet of storage on IBM Drive; and
    - Remark the existing southbound right turn lane to a combined thru-right lane on Hewitt Associates Drive.
  - At the intersection of Neal Road & STEM Academy Drive/Proposed Access "B" (Unsignalized):
    - One ingress and two egress (left turn lane with 100 feet of storage and terminating right turn lane on Proposed Access "B");
    - Remark the existing median to provide a two-way-left-turn lane (TWL TL) on Neal Road that can accommodate site traffic as well as queuing school traffic; and
    - Remark the existing westbound right turn lane to a combined thru-right lane on STEM Academy Drive.
- Petitioner shall install curb and gutter along the Site's frontage of Neal Road and IBM Drive as generally depicted on the Rezoning Plan prior to the issuance of the issuance of the Site's first certificate of occupancy.
- Petitioner shall install a minimum twelve (12) foot wide multi-use path along the Site's frontage of Neal Road, as generally depicted on the Rezoning Plan. Petitioner shall reserve an easement for the future construction of a twelve (12) foot wide multi-use path along the Site's frontage of IBM Drive, to be constructed by others.
- Petitioner shall dedicate all rights-of-way in fee simple conveyance to the City of Charlotte before the Site's first building certificate of occupancy is issued.
- Unless stated otherwise herein, the Petitioner shall ensure that all transportation improvements are substantially completed prior to the issuance of the Site's first building certificate of occupancy for the related phase of development.

a. Reference to "substantially complete" shall mean completion of the roadway improvements in accordance with the Rezoning Plan provided, however, in the event certain non-essential roadway improvements (as reasonably determined by CDOT) are not completed at the time that the Petitioner seeks to obtain a certificate of occupancy for building(s) on the Site, then CDOT will instruct applicable authorities to allow the issuance of certificates of occupancy for the applicable buildings, and in such event the Petitioner may be asked to post a letter of credit or bond for any improvements not in place at the time such certificate of occupancy is issued to secure completion of the applicable improvements.

**IV. Architectural Standards**

- Preferred Exterior Building Materials: The majority of all principal and accessory buildings shall be comprised of a combination of portions of brick, natural stone (or its synthetic equivalent), stucco, cementitious siding, fiber cement (such as "HardPlank"), vinyl and/or other materials approved by the Planning Director.
- Prohibited Exterior Building Materials: concrete masonry units not architecturally finished.
- Dumpster locations as generally depicted on the Rezoning Plan are shown for illustrative purposes only and shall only be required in the event that roll-out trash service is not provided for the Site.
- The following additional architectural standards shall apply to single-family residential attached (townhome) units on the Site:
  - Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that roofs for porches and attached sheds may be no less than 2:12, unless a flat roof architectural style is employed.
  - Walkways shall be provided to connect all residential entrances to sidewalks along public or private streets.
  - To provide privacy, all residential townhome entrances within fifteen (15) feet of the sidewalk shall be either raised or lowered from the average sidewalk grade a minimum of twelve (12) inches.
  - Individual driveways for townhome units shall not front onto the internal public local residential medium street, as generally depicted on the Rezoning Plan.
  - Garage doors visible from public streets shall minimize the visual impact by providing a setback of twelve (12) to twenty-four (24) inches from the front wall plane.
  - All townhome units shall be provided with a garage for a minimum of one (1) car. Driveway lengths shall either be between five (5) and seven (7) feet in length or a minimum of twenty (20) feet in length.
  - Townhouse buildings fronting public network-required streets shall be limited to six (6) individual units per building, or fewer.
  - Townhome buildings shall have a minimum separation of sixteen (16) feet between buildings.
  - Each end unit that fronts a public road, as generally labeled on the Rezoning Plan will feature the following architectural elements on the side of the unit that runs parallel along the public road:
    - A minimum of five (5) two-foot maple trees (or other similar tree) planted approximately six to eight feet apart from each other; and
    - Minimum of two (2) windows with shutters on the side wall.
- The following additional architectural standards shall apply to multi-family residential units on the Site:
  - Building elevations shall be designed with vertical bays or articulated architectural facade features which shall include a minimum of three (3) of the following: a combination of exterior wall offsets (projections or recesses), columns, pilasters, banding, or change in materials/colors.
  - Buildings shall be designed with a recognizable architectural base on all facades facing network-required public or private streets. Such bases may be executed through the use of Preferred Building Materials or articulated architectural facade features and color changes.
  - Building elevations facing network-required public or private streets shall not have blank walls greater than twenty (20) feet in all directions and architectural features such as, but not limited to, banding, medallions or design features or materials to avoid a sterile, unarticulated blank treatment of such walls.
  - Building massing shall be designed to break up long monolithic building forms as follows: building exceeding 120 feet in length shall include modulations of the building massing/facade plane (such as recesses, projections, and architectural details). Modulations shall be a minimum of ten (10) feet wide and shall project or recess a minimum of two (2) feet extending through at least a full floor.
  - Roof form and articulation - roof form and lines shall be designed to avoid the appearance of a large monolithic roof structure as follows:
    - Long pitched or flat roof lines shall avoid continuous expanses without variation by including changes in height and/or roof form, to include but not be limited to gables, hips, dormers or parapets.

6. Amenity areas may include, but not be limited to: mail kiosks(s), bicycle racks, grills, club houses, pools, cabanas, picnic shelters, gazebos, benches, community gardens, dog parks, playgrounds, active or passive recreation, or other similar amenities and may be relocated throughout the Site as long as the locations are consistent with the general intent of the Rezoning Plan.

V. Streetscape and Landscaping

1. The Petitioner shall construct a minimum six (6) foot wide sidewalk and eight (8) foot wide planting strip along the Site's internal public streets and the Site's frontage of Neal Road, per Section III.S ABOVE. The Petitioner shall also construct a minimum twelve (12) foot wide sidewalk and eight (8) foot wide planting strip along the Site's frontage of Neal Road, per Section III.S ABOVE.

**VI. Environmental Features**

- The Petitioner shall comply with the Charlotte City Council approved and adopted Post Construction Stormwater Ordinance. The location, size, and type of stormwater management systems depicted on the Rezoning Plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points.
- Development within any SWIM/PCSO buffer shall be coordinated with and subject to approval by Charlotte-Mecklenburg Storm Water Services and mitigated if required by City Ordinance.
- The Petitioner shall comply with the Tree Ordinance.

**VII. Lighting**

All freestanding lighting fixtures installed on the Site greater than twenty one (21) feet in total height (i.e., excluding decorative lighting less than 21' in height that may be installed along the driveways and sidewalks as pedestrian/landscaping lighting) shall be fully capped and shielded and the illumination downwardly directed so that direct illumination does not extend past any property line of the Site.

**VIII. Amendments to Rezoning Plan**

Future amendments to the Rezoning Plan and these Development Standards may be applied for by the then Owner or Owners of a particular Tract within the Site involved in accordance with the provisions of Chapter 6 of the Ordinance.

**IX. Binding Effect of the Rezoning Documents and Definitions**

If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under the Rezoning Plan and these Development Standards will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective successors in interest and assigns.

Throughout these Development Standards, the terms, "Petitioner" and "Owner" or "Owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the Petitioner or the owner or owners of any part of the Site from time to time who may be involved in any future development thereof.

1. THE PETITIONER SHALL CONSTRUCT A MINIMUM SIX (6) FOOT SIDEWALK AND EIGHT (8) FOOT WIDE PLANTING STRIP ALONG THE SITE'S INTERNAL PUBLIC STREETS. THE PETITIONER SHALL CONSTRUCT A MINIMUM SIX (6) FOOT SIDEWALK AND EIGHT (8) FOOT WIDE PLANTING STRIP ALONG THE SITE'S FRONTAGE WITH IBM DRIVE EXCEPT WHERE SITE CONDITIONS, INCLUDING DRAINAGE AND TOPOGRAPHY, DO NOT PERMIT AS INDICATED IN THE ADMINISTRATIVE AMENDMENT. WHERE THESE CONDITIONS EXIST, THE PETITIONER MAY CONSTRUCT A SIX (6) FOOT WIDE SIDEWALK AT THE BACK OF CURB ON THE SITE'S FRONTAGE WITH IBM DRIVE, AS GENERALLY DEPICTED IN THE ADMINISTRATIVE AMENDMENT. THE PETITIONER SHALL PROVIDE A MINIMUM TWELVE (12) FOOT WIDE SIDEWALK AND EIGHT (8) FOOT WIDE PLANTING STRIP ALONG THE SITE'S FRONTAGE OF NEAL ROAD, PER SECTION III.S ABOVE.

Attached to Administrative  
 Approval

*John A. Fortune* \$  
**Solomon A. Fortune**

KEY MAP

REAL

**NOT FOR  
 CONSTRUCTION**

**WAYFORD  
 RESIDENTIAL**

CHARLOTTE, NC  
 REZONING #2020-035

LANDDESIGN PROJ.# 1019430

**REVISION / ISSUANCE**

NO.	DESCRIPTION	DATE
1	INITIAL REZONING SUBMITTAL	02.04.2020
2	PER CITY COMMENTS	04.13.2020
3	PER CITY COMMENTS	06.15.2020
4	PER CITY COMMENTS	10.08.2020
5	ADMINISTRATIVE AMENDMENT	08.27.2021

DESIGNED BY: JRY  
 DRAWN BY: CKS  
 CHECKED BY: KST

SCALE NORTH

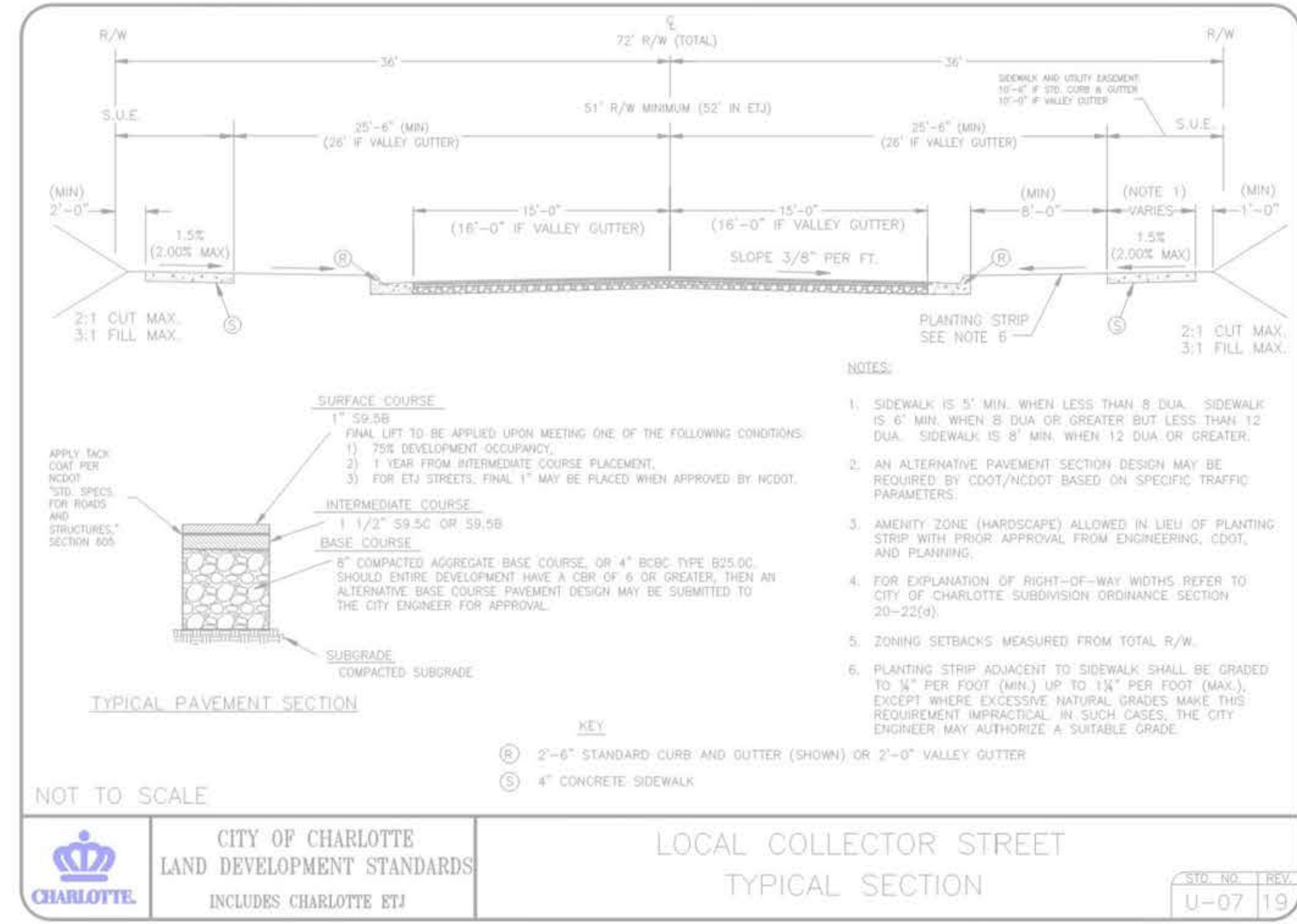
VERT: N/A  
 HORZ:

SHEET TITLE

**DEVELOPMENT STANDARDS**

SHEET NUMBER

**RZ-4**





Development Data Table:

Site Area: +/- .49 acres  
 Tax Parcels: Portion of 047-112-01  
 Existing Zoning: R-4 & RE-2  
 Proposed Zoning: R-8MF(CD)  
 Existing Use: Residential  
 Proposed Uses: Up to 300 Residential Dwelling Units, including multi-family units and single-family attached (townhome) units, as further described in Section II, below  
 Maximum Building Height: Three Stories and up to Forty-five (45) feet as measured per the Ordinance

I. General Provisions

- These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by COP University, LLC (the "Petitioner") to accommodate the development of a multi-family and single-family attached (townhome) residential community on that approximately 49-acre portion of a site located on the southwest side of the intersection of IBM Drive and Neal Road, more particularly depicted on the Rezoning Plan (the "Site"). The Site is comprised of a portion of Tax Parcel Number 047-112-01.
- Development of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance").
- Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the R-8MF zoning district shall govern the development and use of the Site.
- The development and street layout depicted on the Rezoning Plan are schematic in nature and are intended to depict the general arrangement of such uses and improvements on the Site. Accordingly, the ultimate layout, locations and sizes of the development and site elements depicted on the Rezoning Plan are graphic representations of the proposed development and site elements, and they may be altered or modified in accordance with the setback, yard, landscaping and tree save requirements set forth on this Rezoning Plan and the Development Standards, provided, however, that any such alterations and modifications shall be minor in nature and not materially change the overall design intent depicted on the Rezoning Plan.
- Future amendments to the Rezoning Plan and/or these Development Standards may be applied for by the then owner(s) of the Site in accordance with the provisions of Chapter 6 of the Ordinance. Minor alterations to the Rezoning Plan are subject to Section 6.207 of the Ordinance.

II. Permitted Uses

The Site may be devoted only to a residential community containing a maximum of 250 single-family attached (townhome) dwelling units, 50 multi-family residential units, and any incidental and accessory uses relating thereto that are allowed in the R-8MF zoning district.

III. Transportation

- As depicted on the Rezoning Plan, the Site will be served by internal public and private drives, and minor adjustments to the location of these drives shall be allowed during the construction permitting process.
- Access points shall be provided as generally depicted on the Rezoning Plan.
- The Petitioner shall construct and install the following improvements based on the approved Traffic Impact Study:
  - At the intersection of IBM Drive & Hewitt Associates Drive/Proposed Access "A" (Signalized):
    - One ingress and two egress (a northbound left turn lane with 100 feet of storage in addition to a combined thru-right lane) on Proposed Access "A";
    - Construct an eastbound right turn lane with 100 feet of storage on IBM Drive;
    - Remark the existing pavement to provide a westbound left turn lane with 100 feet of storage on IBM Drive; and
    - Remark the existing southbound right turn lane to a combined thru-right lane on Hewitt Associates Drive.
  - At the intersection of Neal Road & STEM Academy Driveway/Proposed Access "B" (Unsignalized):
    - One ingress and two egress (left turn lane with 100 feet of storage and terminating right turn lane on Proposed Access "B");
    - Remark the existing median to provide a two-way-left-turn lane (TWL TL) on Neal Road that can accommodate site traffic as well as queuing school traffic; and
    - Remark the existing westbound right turn lane to a combined thru-right lane on STEM Academy Driveway.
- Petitioner shall install curb and gutter along the Site's frontage of Neal Road and IBM Drive as generally depicted on the Rezoning Plan prior to the issuance of the issuance of the Site's first certificate of occupancy.
- Petitioner shall install a minimum twelve (12) foot wide multi-use path along the Site's frontage of Neal Road, as generally depicted on the Rezoning Plan (Petitioner shall reserve an easement for the future construction of a twelve (12) foot wide multi-use path along the Site's frontage of IBM Drive, to be constructed by others.)
- Petitioner shall dedicate all rights-of-way in fee simple conveyance to the City of Charlotte before the Site's first building certificate of occupancy is issued.
- Unless stated otherwise herein, the Petitioner shall ensure that all transportation improvements are substantially completed prior to the issuance of the Site's first building certificate of occupancy for the related phase of development.
  - Reference to "substantially complete" shall mean completion of the roadway improvements in accordance with the Rezoning Plan provided, however, in the event certain non-essential roadway improvements (as reasonably determined by CDOT) are not completed at the time that the Petitioner seeks to obtain a certificate of occupancy for building(s) on the Site, then CDOT will instruct applicable authorities to allow the issuance of certificates of occupancy for the applicable buildings, and in such event the Petitioner may be asked to post a letter of credit or bond for any improvements not in place at the time such certificate of occupancy is issued to secure completion of the applicable improvements.

IV. Architectural Standards

- Preferred Exterior Building Materials: The majority of all principal and accessory buildings shall be comprised of a combination of portions of brick, natural stone (or its synthetic equivalent), stucco, cementitious siding, fiber cement (such as "HardiPlank"), vinyl and/or other materials approved by the Planning Director.
- Prohibited Exterior Building Materials: concrete masonry units not architecturally finished.
- Dumpster locations as generally depicted on the Rezoning Plan are shown for illustrative purposes only and shall only be required in the event that roll-off trash service is not provided for the Site.
- The following additional architectural standards shall apply to single-family residential attached (townhome) units on the Site:
  - Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that roofs for porches and attached sheds may be no less than 2:12, unless a flat roof architectural style is employed.
  - Walkways shall be provided to connect all residential entrances to sidewalks along public or private streets.
  - To provide privacy, all residential townhome entrances within fifteen (15) feet of the sidewalk shall be either raised or lowered from the average sidewalk grade a minimum of twelve (12) inches.
  - Individual driveways for townhome units shall not front onto the internal public local residential medium street, as generally depicted on the Rezoning Plan.
  - Garage doors visible from public streets shall minimize the visual impact by providing a setback of twelve (12) to twenty-four (24) inches from the front wall plane.
  - All townhome units shall be provided with a garage for a minimum of one (1) car. Driveway lengths shall either be between five (5) and seven (7) feet in length or a minimum of twenty (20) feet in length.
  - Townhouse buildings fronting public network-required streets shall be limited to six (6) individual units per building, or fewer.
  - Townhome buildings shall have a minimum separation of sixteen (16) feet between buildings.
  - Each end unit that fronts a public road, as generally labeled on the Rezoning Plan will feature the following architectural elements on the side of the unit that runs parallel along the public road:
    - A minimum of five (5) two-foot maple trees (or other similar tree) planted approximately six to eight feet apart from each other; and
    - Minimum of two (2) windows with shutters on the side wall.
- The following additional architectural standards shall apply to multi-family residential units on the Site:
  - Building elevations shall be designed with vertical bays or articulated architectural facade features which shall include a minimum of three (3) of the following: a combination of exterior wall offsets (projections or recesses), columns, pilasters, banding, or change in materials/colors.
  - Buildings shall be designed with a recognizable architectural base on all facades facing network-required public or private streets. Such bases may be executed through the use of Preferred Building Materials or articulated architectural facade features and color changes.
  - Building elevations facing network-required public or private streets shall not have blank walls greater than twenty (20) feet in all directions and architectural features such as, but not limited to, banding, medallions or design features or materials to avoid a sterile, unarticulated blank treatment of such walls.
  - Building massing shall be designed to break up long monolithic building forms as follows: building exceeding 120 feet in length shall include modulations of the building massing/facade plane (such as recesses, projections, and architectural details). Modulations shall be a minimum of ten (10) feet wide and shall project or recess a minimum of two (2) feet extending through at least a full floor.
  - Roof form and articulation - roof form and lines shall be designed to avoid the appearance of a large monolithic roof structure as follows:
    - Long pitched or flat roof lines shall avoid continuous expanses without variation by including changes in height and/or roof form, to include but not be limited to gables, hips, dormers or parapets.

- Rooftop HVAC and related mechanical equipment will be screened from public view at grade from the nearest network-required street.
6. Amenity areas may include, but not be limited to: mail kiosk(s), bicycle racks, grills, club houses, pools, cabanas, picnic shelters, gazebos, benches, community gardens, dog parks, playgrounds, active or passive recreation, or other similar amenities and may be relocated throughout the Site as long as the locations are consistent with the general intent of the Rezoning Plan.

V. Streetscape and Landscaping

- The Petitioner shall construct a minimum six (6) foot wide sidewalk and eight (8) foot wide planting strip along the Site's internal public streets and the Site's frontage of IBM Drive. The Petitioner shall provide a minimum twelve (12) foot wide sidewalk and eight (8) foot wide planting strip along the Site's frontage of Neal Road, per Section II.5. above.
- The Petitioner may subdivide the Site and create lots within the Site with no side or rear yards as part of a unified development plan. If sublots are created, each lot shall have a minimum of 400 square feet of private open space or 10% of the Site shall be set aside as usable common open space per Ordinance standards.

VI. Environmental Features

- The Petitioner shall comply with the Charlotte City Council approved and adopted Post Construction Stormwater Ordinance. The location, size, and type of stormwater management systems depicted on the Rezoning Plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points.
- Development within any SWIM/PCSO buffer shall be coordinated with and subject to approval by Charlotte-Mecklenburg Storm Water Services and mitigated if required by City Ordinance.
- The Petitioner shall comply with the Tree Ordinance.

VII. Lighting

All freestanding lighting fixtures installed on the Site greater than twenty one (21) feet in total height (i.e., excluding decorative lighting less than 21' in height that may be installed along the driveways and sidewalks as pedestrian/landscaping lighting) shall be fully capped and shielded and the illumination downwardly directed so that direct illumination does not extend past any property line of the Site.

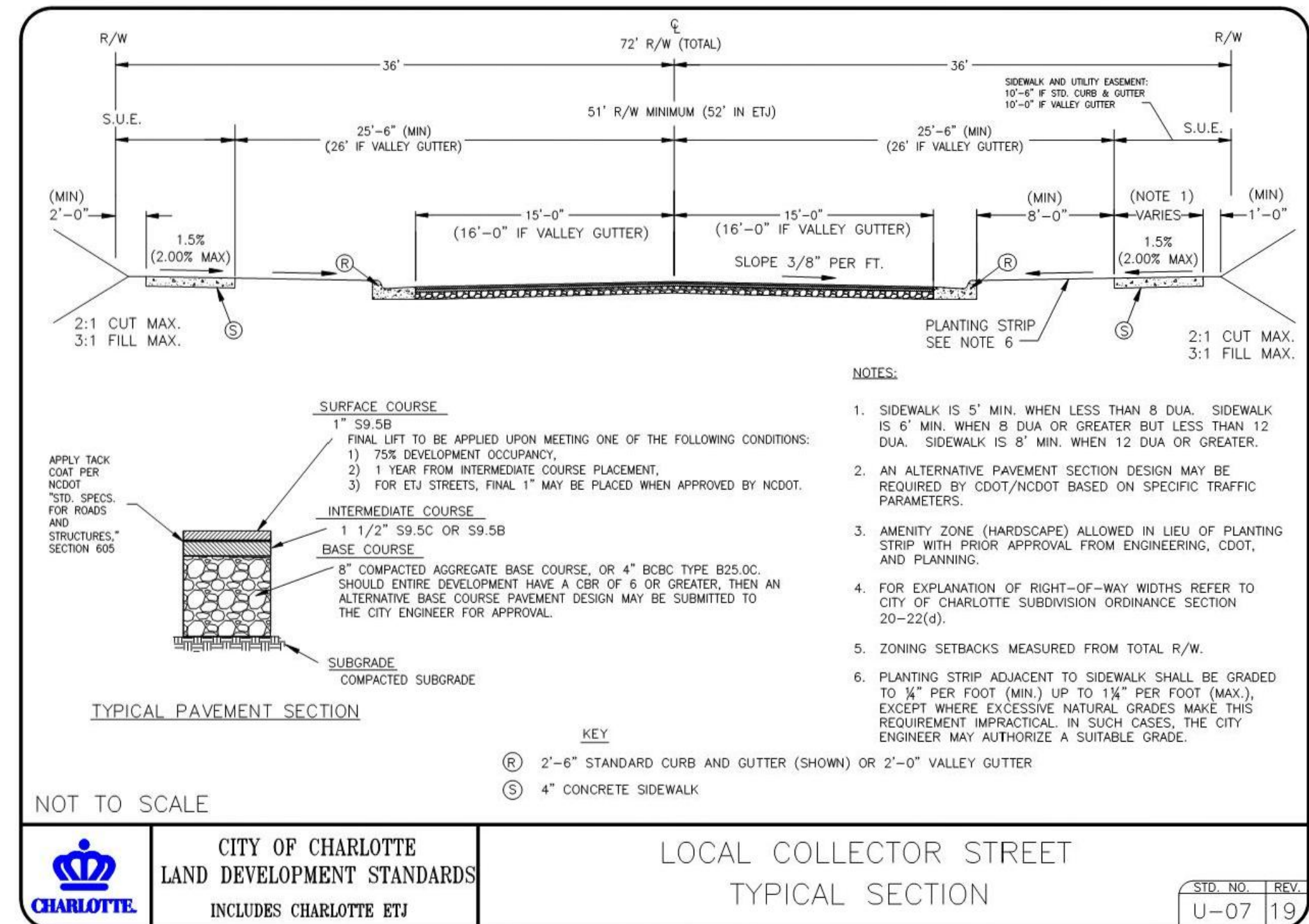
VIII. Amendments to Rezoning Plan

Future amendments to the Rezoning Plan and these Development Standards may be applied for by the then Owner or Owners of a particular Tract within the Site involved in accordance with the provisions of Chapter 6 of the Ordinance.

IX. Binding Effect of the Rezoning Documents and Definitions

If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under the Rezoning Plan and these Development Standards will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective successors in interest and assigns.

Throughout these Development Standards, the terms, "Petitioner" and "Owner" or "Owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the Petitioner or the owner or owners of any part of the Site from time to time who may be involved in any future development thereof.



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