

NTS

Planning Department

APPROVED BY CITY COUNCIL

2023-122

Approved: 02/19/2024

VICINITY MAP

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VICINITY MAP

SITE LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	CENTERLINE
	PERIMETER & STREAM BUFFER
	EXISTING SANITARY SEWER
	EXISTING OVERHEAD UTILITY
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	POTENTIAL GREEN AREA
	POTENTIAL SUPPLEMENTAL GREEN AREA
	POTENTIAL BUILDING/DRIVEWAY ENVELOPE

SITE DATA	
DEVELOPER: EMPIRE COMMUNITIES 8008 CORPORATE CENTER DRIVE, SUITE 300 CHARLOTTE, NC 28226	PREPARED BY: MCADAMS COMPANY (MARC VAN DINE) 2100 S TRYON STREET, SUITE 400 CHARLOTTE, NC 28203 704.527.0800 VANDINE@MCADAMSCO.COM
PARCEL ID NUMBER: PORTION OF 15715286, 15715287	
TOTAL SITE ACREAGE:	9.24 AC
CURRENT ZONING:	N1-A
PROPOSED ZONING:	N2-A (CD)
CURRENT USE:	VACANT
PROPOSED USE:	UP TO 99 SINGLE FAMILY ATTACHED DWELLINGS
MAXIMUM BUILDING HEIGHT ALLOWED:	48 FT
SETBACK REQUIREMENTS:	
FRONT SETBACK FROM FUTURE BACK OF CURB:	20 FT
SIDE YARD:	5 FT
REAR YARD:	10' NOT ABUTTING NEIGHBORHOOD 1 PLACE TYPE; 20' ABUTTING NEIGHBORHOOD 1 PLACE TYPE
BUILDING SEPARATION:	10 FT MIN
REQUIRED PRIVATE OPEN SPACE:	250 SF PER UNIT PER UDO REQUIREMENT
REQUIRED GREEN AREA:	+/- 1.39 AC (15% OF SITE AREA)
POTENTIAL GREEN AREA:	+/- 1.45 AC (15.7% OF TOTAL SITE AREA)
POTENTIAL SUPPLEMENTAL GREEN AREA:	+/- 0.71 AC
STORMWATER FACILITIES:	UNDERGROUND

NOTES:

1. PETITIONER COMMITS TO MEETING PROWAG REQUIREMENTS FOR ON-STREET PARKING

2. SOLID WASTE REQUIREMENTS WILL BE MET PER ARTICLE 21.

ENVIRONMENTAL FEATURES

1. DEVELOPMENT WITHIN THE SWIM/PCSO BUFFER SHALL BE COORDINATED WITH AND SUBJECT TO APPROVAL BY CHARLOTTE-MECKLENBURG STORM WATER SERVICES AND MITIGATED IF REQUIRED BY CITY ORDINANCE.

2. ALL STREAM DELINEATION REPORTS ARE SUBJECT TO REVIEW AND APPROVAL BY CHARLOTTE STORM WATER SERVICES.

3. THE PETITIONER SHALL COMPLY WITH THE CITY OF CHARLOTTE POST CONSTRUCTION STORMWATER REGULATIONS (UDO ARTICLE 25)

4. DURING DEVELOPMENT OF THE SITE, THE PETITIONER COMMITS TO PROVIDING ENHANCED EROSION CONTROL MEASURES AS LISTED UNDER THE CITY OF CHARLOTTE SOIL, EROSION, AND SEDIMENTATION CONTROL ORDINANCE.

McADAMS

The John R. McAdams Company, Inc.

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Suite 500

Raleigh, NC 27603

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CLIENT

EMPIRE COMMUNITIES  
DAN ROBERTSON  
8008 CORPORATE CENTER DRIVE, SUITE 300  
CHARLOTTE, NC 28226  
PHONE: 501. 658. 9191

EMPIRE

MASON TOWNHOMES PHASE 2  
REZONING PETITION # 2023-122  
WRIGHT AVENUE  
CHARLOTTE, NORTH CAROLINA, 28211

REVISIONS			
NO.	DATE	PER CITY COMMENTS	
1	11.13.2023	PER CITY COMMENTS	
2	01.18.2024	PER CITY COMMENTS	
3	02.02.2024	PER CITY COMMENTS	

PLAN INFORMATION	
PROJECT NO.	EMP22011
FILENAME	EMP22011X-Phase2
CHECKED BY	EM
DRAWN BY	JDS
SCALE	1" = 60'
DATE	08.18.2023

SHEET

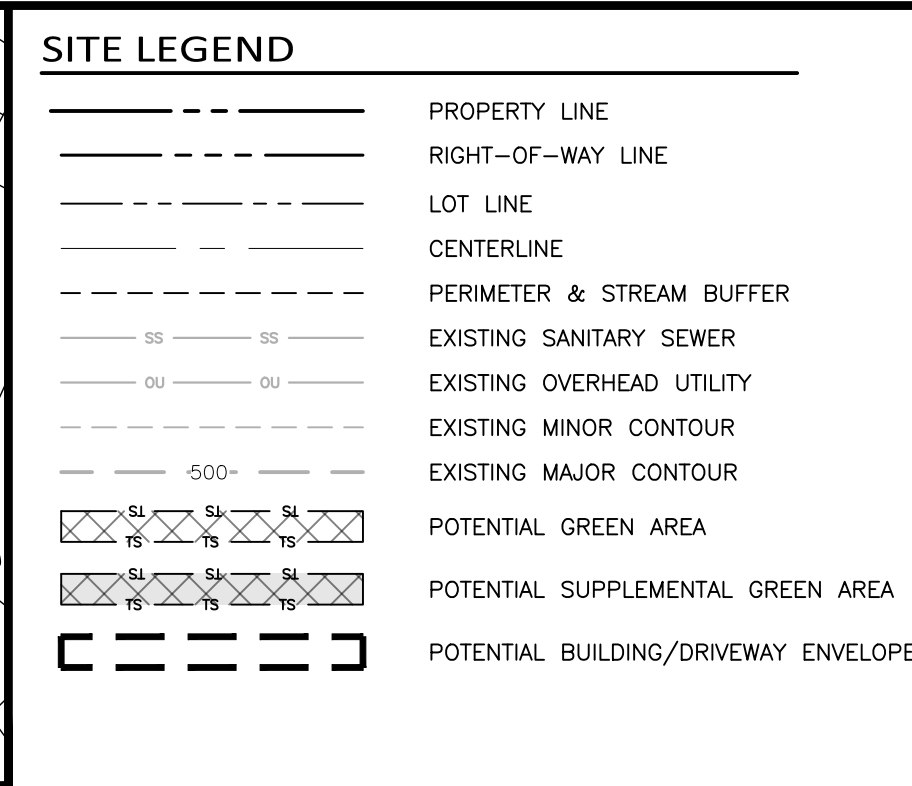
REZONING PLAN

RZ.01

M:\Projects\EMP\EMP22011\04-Production\Engineering\Rezonning\EMP22011X-Phase2.dwg, 2/1/2024 3:07:30 PM, Heather Madden

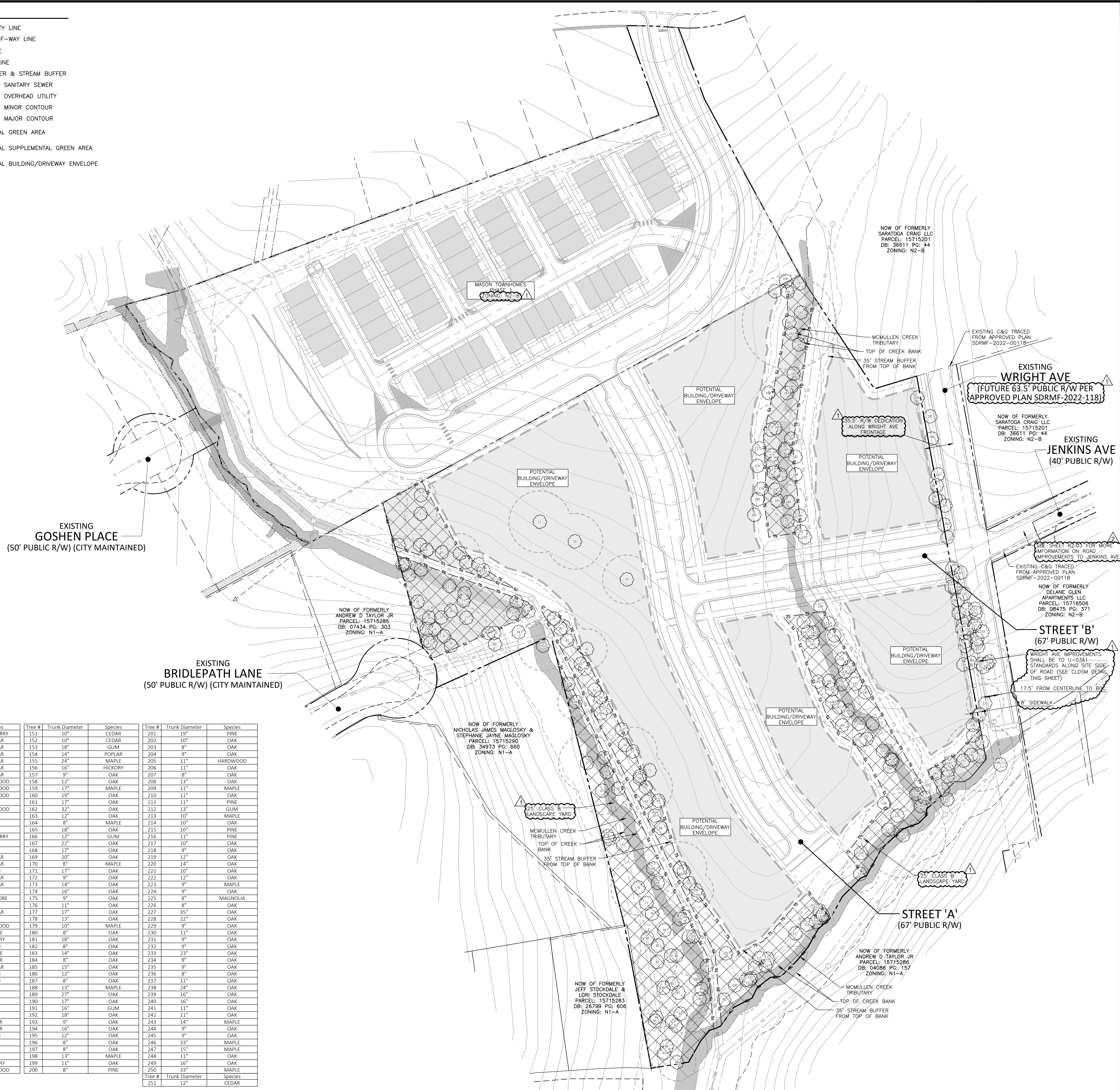
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





NOTES:

1. TREE SURVEY PROVIDED FOR CONDITIONAL REZONING TO MEET 20.18 A.1 OF THE UDO. FINAL DETERMINATION OF TREES TO BE SAVED WILL OCCUR DURING THE CONSTRUCTION PLAN DESIGN OF THE PROJECT.



Tree #	Trunk Diameter	Species	Tree #	Trunk Diameter	Species	Tree #	Trunk Diameter	Species	Tree #	Trunk Diameter	Species
1	24"	OAK	51	14"	SYCAMORE	101	19"	HACKBERRY	151	10"	CEDAR
2	2"	POPLAR	52	10"	POPLAR	102	14"	POPLAR	152	10"	POPLAR
3	12"	MAGNOLIA	53	19"	POPLAR	103	18"	POPLAR	153	18"	GUM
4	8"	MAPLE	54	8"	ELM	104	24"	POPLAR	154	14"	POPLAR
5	12"	HARDWOOD	55	9"	HICKORY	105	18"	POPLAR	155	24"	MAPLE
6	8"	HARDWOOD	56	12"	SYCAMORE	106	24"	POPLAR	156	16"	HACKBERRY
7	24"	SYCAMORE	57	22"	GUM	107	28"	POPLAR	157	9"	OAK
8	12"	HARDWOOD	58	16"	MAPLE	108	8"	HARDWOOD	158	12"	OAK
9	11"	MAPLE	59	8"	ELM	109	8"	HARDWOOD	159	17"	MAPLE
10	14"	POPLAR	60	10"	ASH	110	14"	HARDWOOD	160	19"	POPLAR
11	21"	OAK	61	31"	POPLAR	111	14"	OAK	161	17"	OAK
12	30"	POPLAR	62	25"	SYCAMORE	112	9"	HARDWOOD	162	32"	OAK
13	10"	GUM	63	12"	GUM	113	9"	ASH	163	12"	OAK
14	10"	POPLAR	64	18"	POPLAR	114	17"	OAK	164	8"	POPLAR
15	29"	POPLAR	65	14"	POPLAR	115	16"	ELM	165	18"	POPLAR
16	18"	SYCAMORE	66	11"	POPLAR	116	10"	HACKBERRY	166	12"	GUM
17	28"	TWIN SYCAMORE	67	28"	GUM	117	17"	OAK	167	22"	OAK
18	11"	CEDAR	68	14"	POPLAR	118	10"	POPLAR	168	17"	OAK
19	13"	OAK	69	18"	POPLAR	119	20"	POPLAR	169	20"	OAK
20	33"	OAK	70	18"	POPLAR	120	26"	POPLAR	170	8"	MAPLE
21	31"	OAK	71	31"	POPLAR	121	18"	GUM	171	17"	OAK
22	19"	PINE	72	51"	POPLAR	122	9"	POPLAR	172	9"	OAK
23	14"	PINE	73	14"	ELM	123	14"	POPLAR	173	14"	OAK
24	12"	OAK	74	16"	ELM	124	10"	OAK	174	16"	OAK
25	10"	OAK	75	10"	MAPLE	125	28"	SYCAMORE	175	9"	OAK
26	41"	OAK	76	33"	POPLAR	126	18"	OAK	176	11"	OAK
27	19"	HARDWOOD	77	22"	POPLAR	127	24"	POPLAR	177	17"	OAK
28	18"	OAK	78	24"	GUM	128	16"	OAK	178	13"	OAK
29	14"	HARDWOOD	79	26"	POPLAR	129	24"	HARDWOOD	179	10"	MAPLE
30	8"	POPLAR	80	16"	MAPLE	130	12"	MAPLE	180	10"	OAK
31	10"	HARDWOOD	81	33"	POPLAR	131	12"	OAK	181	18"	OAK
32	12"	HARDWOOD	82	27"	OAK	132	18"	GUM	182	8"	OAK
33	9"	MAGNOLIA	83	19"	POPLAR	133	16"	MAPLE	183	14"	OAK
34	18"	GUM	84	10"	ELM	134	10"	CEDAR	184	8"	OAK
35	10"	POPLAR	85	13"	POPLAR	135	24"	POPLAR	185	15"	OAK
36	10"	POPLAR	86	10"	HICKORY	136	19"	GUM	186	12"	OAK
37	18"	MAPLE	87	31"	POPLAR	137	14"	GUM	187	8"	OAK
38	18"	HARDWOOD	88	8"	MAGNOLIA	138	22"	OAK	188	13"	MAPLE
39	18"	HARDWOOD	89	26"	GUM	139	12"	OAK	189	27"	OAK
40	24"	POPLAR	90	18"	POPLAR	140	12"	ASH	190	17"	OAK
41	31"	POPLAR	91	12"	HICKORY	141	24"	OAK	191	16"	GUM
42	31"	POPLAR	92	14"	HICKORY	142	12"	OAK	192	18"	OAK
43	10"	CEDAR	93	18"	HICKORY	143	8"	CEDAR	193	9"	OAK
44	10"	ELM	94	18"	HICKORY	144	16"	CEDAR	194	16"	OAK
45	32"	POPLAR	95	12"	GUM	145	18"	GUM	195	12"	OAK
46	12"	HARDWOOD	96	22"	POPLAR	146	14"	ASH	196	8"	MAPLE
47	8"	POPLAR	97	20"	MAPLE	147	25"	OAK	197	8"	MAPLE
48	22"	POPLAR	98	12"	POPLAR	148	12"	ELM	198	13"	MAPLE
49	10"	HICKORY	99	13"	CEDAR	149	8"	HICKORY	199	11"	OAK
50	16"	SYCAMORE	100	22"	HARDWOOD	150	13"	HARDWOOD	200	8"	PINE
Tree # Trunk Diameter Species											
251 12" CEDAR											

**CLIENT**

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EMPIRE COMMUNITIES  
DAN ROBERTSON  
8008 CORPORATE CENTER DRIVE, SUITE 300  
CHARLOTTE, NC 28226  
PHONE: 501. 658. 9191

PLAN INFORMATION	
PROJECT NO.	EMP22011
FILENAME	EMP22011X-Phase2
CHECKED BY	EM
DRAWN BY	JDS
SCALE	1" = 60'
DATE	08. 18. 2023
SHEET	

**TREE SURVEY**

**RZ.02**



Site Area:	157-152-87, 157-152-86
Tax Parcel:	157-152-87 and a portion of 157-152-86
Existing Zoning:	N1-A
Proposed Zoning:	N2-A(CD)
Existing Use:	Vacant/Single-Family Residential
Proposed Uses:	Up to 93 Single-family Attached (Townhome) Dwelling Units
Maximum Building Height:	Per the Ordinance
Parking:	Shall meet or exceed Ordinance standards

## I. General Provisions

1. These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by Empire Communities (the "Petitioner") to accommodate the development of a single-family attached (townhome) residential community on that approximately 9.24-acre site located east of Bridlepath Lane, north of Linda Lane and west of Jenkins Avenue, more particularly depicted on the Rezoning Plan (the "Site"). The Site is comprised of Tax Parcel Numbers 157-152-87 and a portion of 157-152-86.
2. Development of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of Charlotte Unified Development Ordinance (the "Ordinance").
3. Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the N2-A zoning district shall govern the development and use of the Site.
4. The development and street layout depicted on the Rezoning Plan are schematic in nature and are intended to depict the general arrangement of such uses and improvements on the Site. Accordingly, the ultimate layout, locations and sizes of the development and site elements depicted on the Rezoning Plan are graphic representations of the proposed development and site elements, and they may be altered or modified in accordance with the setback, yard, landscaping and tree save requirements set forth on this Rezoning Plan and the Development Standards, provided, however, that any such alterations and modifications shall be minor in nature and not materially change the overall design intent depicted on the Rezoning Plan.
5. Future amendments to the Rezoning Plan and/or these Development Standards may be applied for by the then owner(s) of the Site in accordance with the provisions of Article 37 of the Ordinance. Minor alterations to the Rezoning Plan are subject to Article 37.3 of the Ordinance.

## II. Permitted Uses

The Site may be devoted only to a residential community containing a maximum of 93 single-family attached dwelling units and any incidental and accessory uses relating thereto that are permitted in the N2-A zoning district.

### III. Transportation

1. Vehicular access to the Site shall be as generally depicted on the Rezoning Plan. The placement and configuration of the vehicular access points are subject to any minor modifications required to accommodate final site and construction plans and designs and as required for approval by the Charlotte Department of Transportation (CDOT).
2. As depicted on the Rezoning Plan, the Site will be served by internal public and/or private streets, and minor adjustments to the location of these streets shall be allowed during the construction permitting process in coordination with CDOT.
3. A Right-of-Way Encroachment Agreement is required for the installation of any non-standard item(s) (irrigation systems, decorative concrete pavement, brick pavers, etc.) within a proposed/existing City-maintained street right-of-way by a private individual, group, business, or homeowner's/business association. An encroachment agreement must be approved by CDOT prior to construction/installation. Contact CDOT for additional information concerning cost, submittal, and liability insurance coverage requirements.
4. Petitioner shall dedicate all rights-of-way where necessary, in fee simple conveyance to the City of Charlotte prior to the issuance of the Site's first building certificate of occupancy. Right-of-way shall be set at two (2) feet behind the back of sidewalk where feasible.
5. Petitioner shall construct a minimum eight (8) foot sidewalk and eight (8) foot wide planting strip along the Site's frontage of Wright Avenue.
6. Petitioner shall dedicate 35.5 feet of right of way as shown on the zoning plan for Wright Avenue.
7. Unless stated otherwise herein, the Petitioner shall ensure that all off-site transportation improvements are substantially completed prior to the issuance of the Site's first (1<sup>st</sup>) building certificate of occupancy.
8. Final locations of proposed stub connection(s) shall be coordinated with the City of Charlotte

## Subdivision Services

9. Streets shall meet horizontal and vertical curve roadway geometry CDOT standards.

10. On street parking shall meet Public Right of Way Accessibility Guidelines (PROWAG) requirements.
11. The Petitioner will repave a portion of the existing pavement along Jenkins Avenue, per the attached outlined in red, for maintenance acceptance by CDOT. The petitioner will work in good faith with Owner of 15716506 should any temporary construction easements be necessary for this work. Per approved SDRMF-2022-00118, the Owner of 15715201 is responsible for improvements to a portion of Jenkins and Wright Avenues for maintenance acceptance by CDOT.

#### IV. Architectural Standards

3. Preferred Exterior Building Materials: All principal and accessory buildings shall be comprised of a combination of portions of brick, natural stone (or its synthetic equivalent), stucco, cementitious siding, fiber cement ("HardiPlank") and/or other materials approved by the Planning Director.
4. Prohibited Exterior Building Materials: (i) vinyl siding, excluding vinyl handrails, windows, soffits, doors or door trim, and (ii) concrete masonry units not architecturally finished.
5. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that roofs for porches and attached sheds may be no less than 2:12, unless a flat roof architectural style is employed.
6. Buildings shall have either a porch or stoop oriented toward the public street.
7. Walkways shall be provided to connect all residential entrances to sidewalks along the public street.
8. All mechanical and utility equipment such as HVAC, meters, and transformers shall be screened from view from public streets. Backflow preventer(s), if provided, shall not be located within the setback and shall be screened from view from public streets.

## V. Landscape yards/ Screening

1. A twenty-five (25) foot Class B buffer shall be provided along the western and southern property lines as shown on the zoning plan.

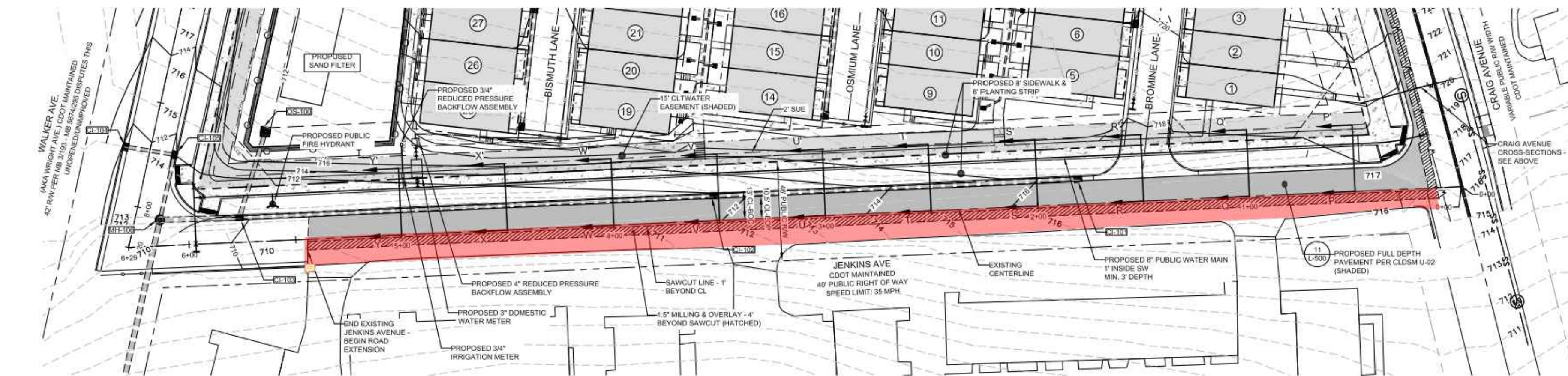
## VI. Environmental Features

1. The petitioner shall comply with the City of Charlotte Post Construction Stormwater Regulations (UDO Article 25).
2. Development within the SWIM/PCSO Buffer shall be coordinated with and subject to approval by Charlotte-Mecklenburg Storm Water Services and mitigated if required by City ordinance.
3. The petitioner commits to providing enhanced erosion control measures as listed under the City of Charlotte Soil, Erosion and Sedimentation Control Ordinance.
4. Petitioner agrees to provide 100-yr stormwater peak control or provide a downstream analysis using the criteria specified in the SCM Design Manual.

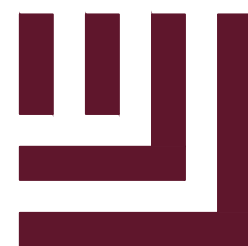
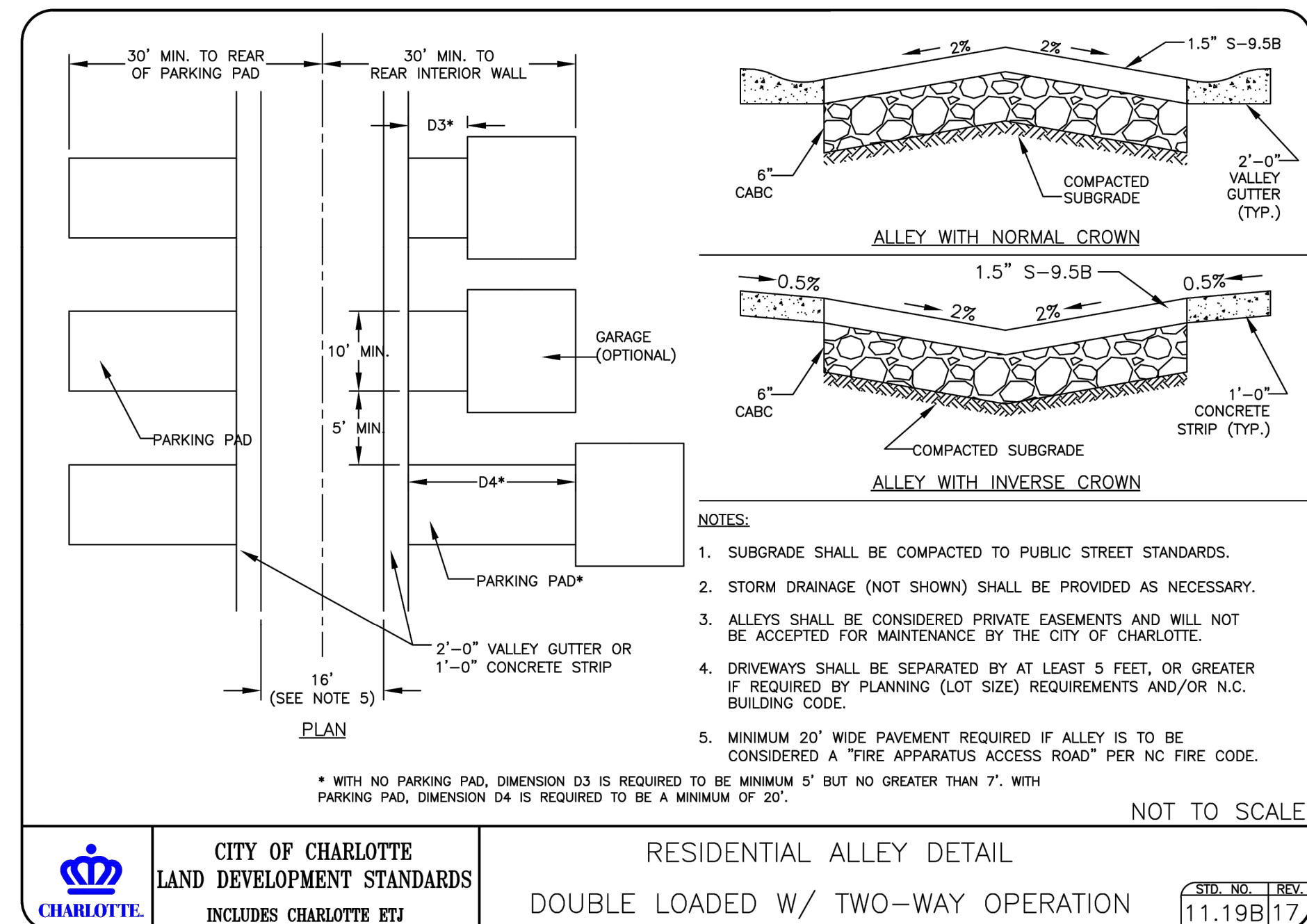
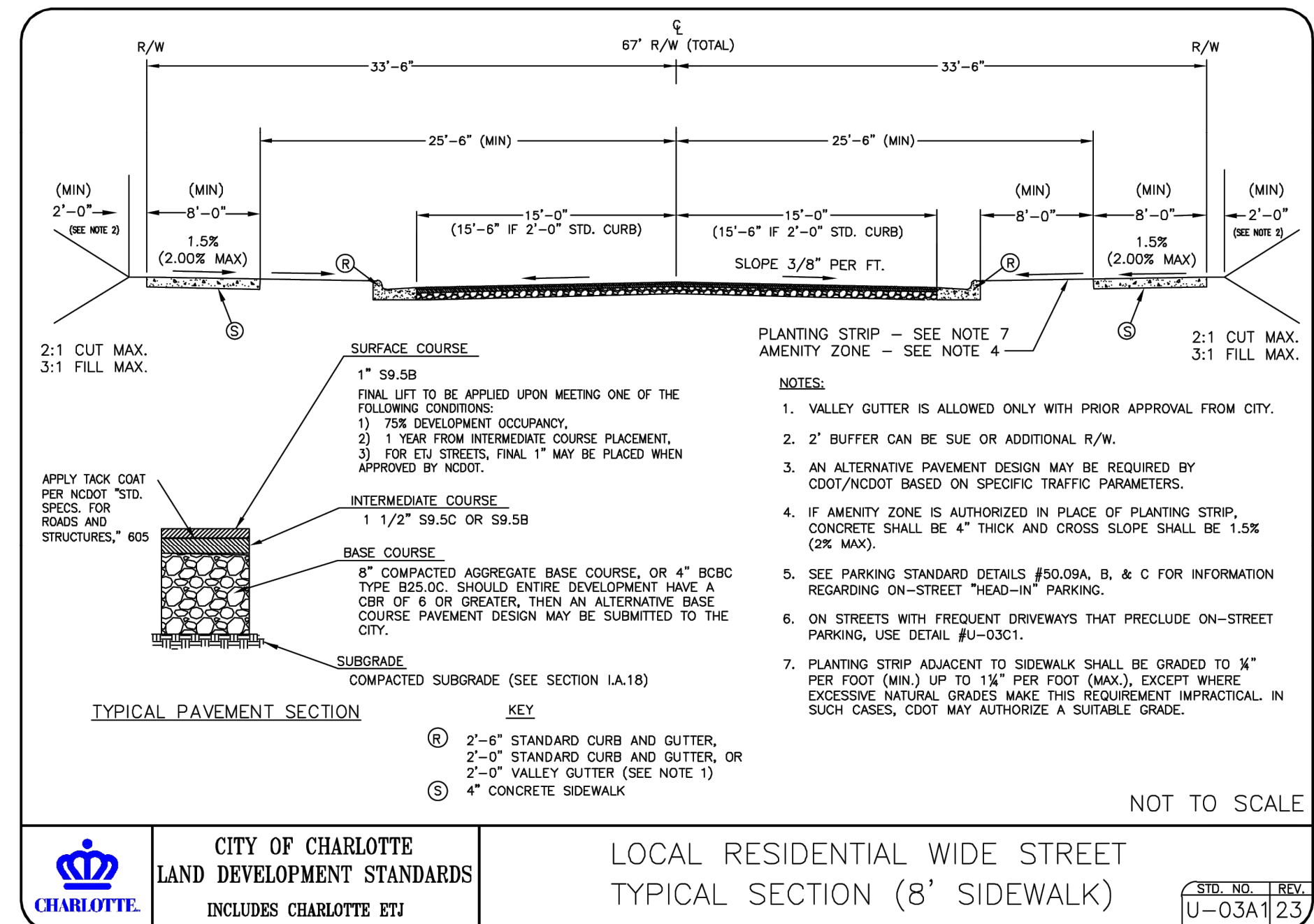
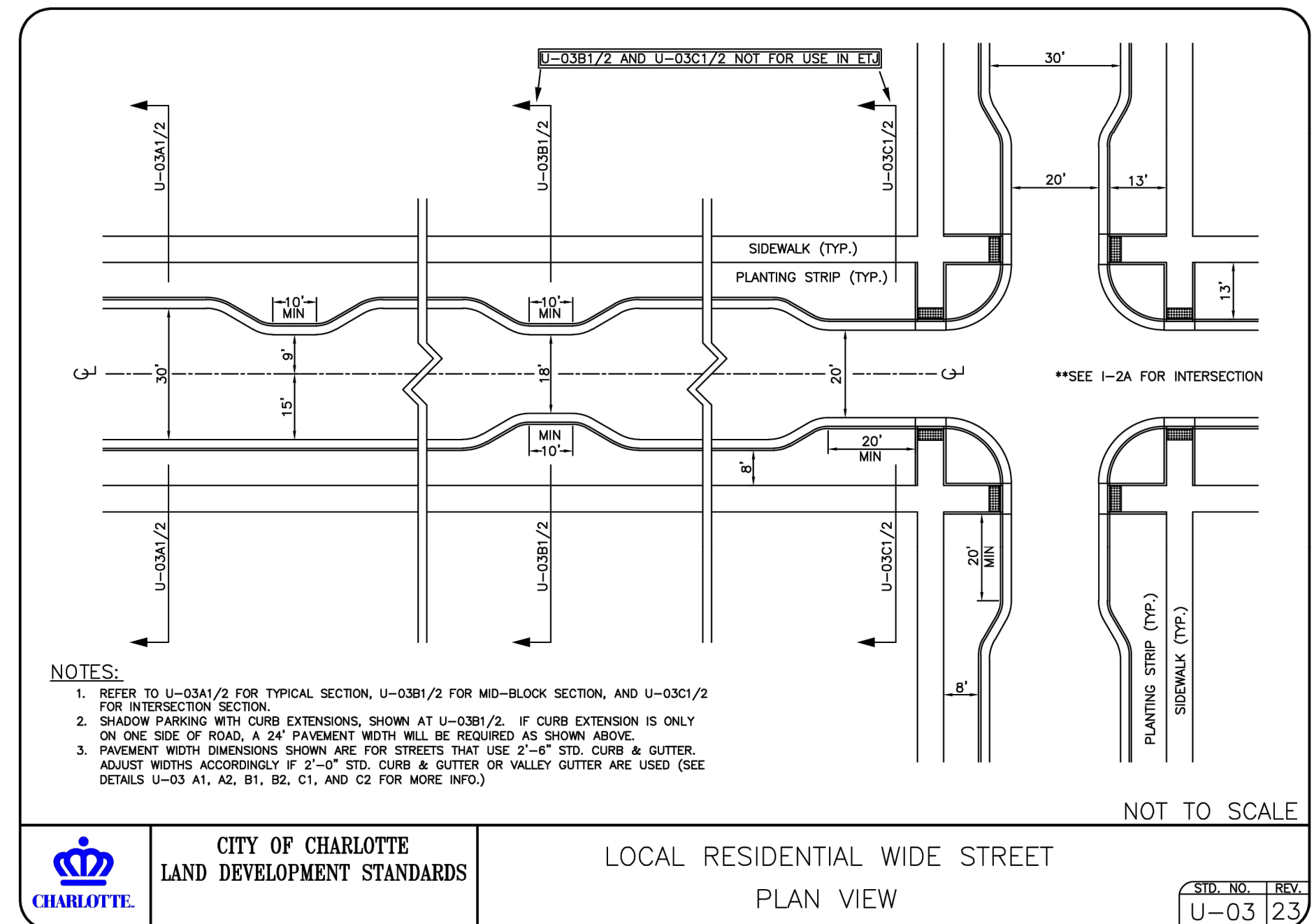
## VII. Binding Effect of the Rezoning Documents and Definitions

If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under the Rezoning Plan and these Development Standards will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective successors in interest and assigns.

Throughout these Development Standards, the terms, "Petitioner" and "Owner" or "Owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the Petitioner or the owner or owners of any part of the Site from time to time who may be involved in any future development thereof.



**JENKINS AVENUE ROAD IMPROVEMENTS**  
**PER SDRMF-2022-00118**



# McADAMS

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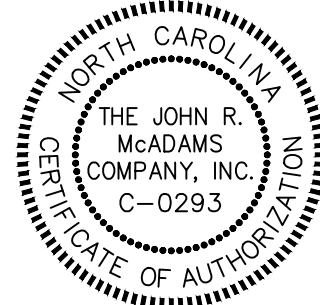
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## CLIENT

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**EMPIRE**

**MASON TOWNHOMES PHASE 2**  
**REZONING PETITION # 2023-122**  
**WRIGHT AVENUE**



## REVISIONS

NO.	DATE	
1	11. 13. 2023	PER CITY COMMENT:
2	01. 18. 2024	PER CITY COMMENT:
3	02. 02. 2024	PER CITY COMMENT:

## PLAN INFORMATION

PROJECT NO.	EMP22011
FILENAME	EMP22011X-Phase2
CHECKED BY	EM
DRAWN BY	JDS
SCALE	
DATE	08. 18. 2023

**SHEET**

## REZONING NOTES

# RZ.03

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION