

Public Records Request #2155

The following materials have been gathered in response to public records request #2155. These materials include:

- Country Lane Site Plans – November 4, 2013
- Blakeney Heath Sketch Plan
- Demare County Lane Plan – May 8, 2015
- Email Correspondence

This information was provided as a response to a public records request on 12/6/19 and is current to that date. There is a possibility of more current information and/or documents related to the stated subject matter.

Further Information

For further information about this request or the Citywide Records Program, please contact:

Cheyenne Flotree
Citywide Records Program Manager
City of Charlotte/City Clerk's Office
600 East 4th Street, 7th Floor
Charlotte, NC 28202
Cheyenne.Flotree@charlottenc.gov

Amelia Knight
Public Records Specialist
City of Charlotte/City Clerk's Office
600 East 4th Street, 7th Floor
Charlotte, NC 28202
Amelia.Knight@charlottenc.gov

Regarding allowable encroachments into the WQ/SWIM buffers:
 12. Road crossings and bridges. If site plan approval is granted by the Planning Department, then road crossings and bridges for connectivity or transportation links (not including driveways) are exempt from the buffer requirements.
 13. Storm water best management practices (BMPs). BMPs are allowed in the upland and managed use zones but not in the stream side zone. The discharge and all energy dissipation devices associated with the BMP must end prior to the stream side zone.
 All disturbed areas must be stabilized and seeded within seven (7) days following project completion to minimize negative water quality impacts. Grasses and other herbaceous groundcovers are allowed. The natural contour of the land should be maintained.

Show all on and offsite existing storm drainage. There appears to be a crosspipe here, and a driveway pipe for previous ex. house onsite.

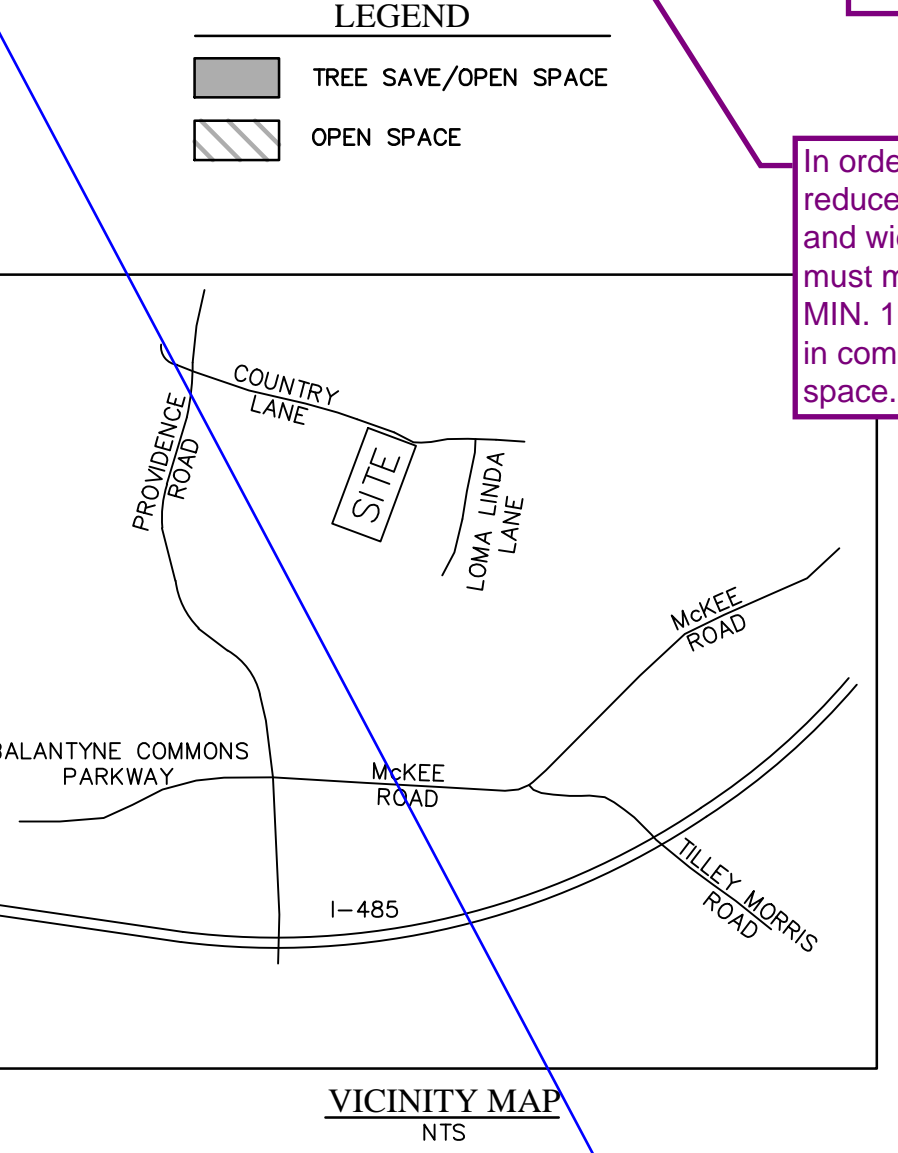
Show sight distance

The radii should not be offset

Country Ln is a local street
 Per subdivision ordinance section 20-52, requirements for street improvements include -- for Local streets:
 a. Right-of-way: Entire right-of-way width dedicated (half of right-of-way located on each side of the centerline), except where a half street has been approved by city staff.
 b. All streets must be constructed to meet applicable city requirements. Standard detail drawings are available in the Charlotte Land Development Standards Manual. Public improvements will be made in accordance with adopted plans, programs and budgets.

Please include detailed cross-sections every 50 feet minimum along Country Lane illustrating the construction of the sidewalk, planting strip, curb&gutter, and asphalt street. Follow X-sec guidelines available at <http://charmeck.org/development/Documents/Info/Cross%20Section%20Guidelines.pdf>

TAX PARCEL #	23102123	ACREAGE	6.0 ACRES
EXISTING ZONING:	R-3		
PROPOSED ZONING:	R-3 (CLUSTER)		
ALLOWED DENSITY:	3.0 UNITS/ACRE		
PROPOSED DENSITY:	2.66 UNITS/ACRE		
MINIMUM LOT WIDTH:	60 FEET		
MINIMUM LOT AREAS:	8,000 SF		
FRONT SETBACK:	30 FEET		
SIDE YARD:	6 FEET		
REAR YARD:	30 FEET		
PROPOSED RIGHT OF WAY AREA	38,616 SF (0.89AC)		
REQUIRED MINIMUM OPEN SPACE (%)	10% (0.6 ACRES)		
PROVIDED OPEN SPACE:	10%		
REQUIRED MINIMUM TREE SAVE (%)	10% (0.51 ACRES)		
PROVIDED TREE SAVE:	10%		
MAXIMUM BUILDING HEIGHT:	40 FEET		



LEGEND
 TREE SAVE/OPEN SPACE
 OPEN SPACE

The front setback for R-3 is 42' from back of curb

The rear yard for exterior lots is 45'

In order to use the reduced lot size and width you must maintain a MIN. 10% treesave in common open space.

1. Show large maturing trees on 40-50' spacing within 20' of curb on landscape plans.
2. Show CMLDS Detail 40.01 and Detail 40.09 on plans.
3. All tree save areas to be staked in the field for verification.
4. All open areas in tree saves to have extra large maturing trees planted.
5. Add landscape notes.

Show and Label the SWIM buffer and delineate top of bank and all buffer zones. be sure the Stream side zone is labeled undisturbed.

include culvert crossing design per CLDSM 10.36

design / adjust storm outfall into site.

Wetland delineation and 401/404 permits

Show total impact (SF) of disturbance to WQ buffer.

50' SWIM buffer per GIS

Please ensure BMP surrounded by Post-Construction Controls Easement (PCCE)

Verify BMP type achieves standards of PCO - 85% TSS, 1yr 24hr Vol Control, and 10/25yr peak control.

Ensure outlet from BMP has energy dissipator (rip rap apron) that is outside SWIM Buffer, is at 0% slope, and is pulled back from the property line as much as possible.

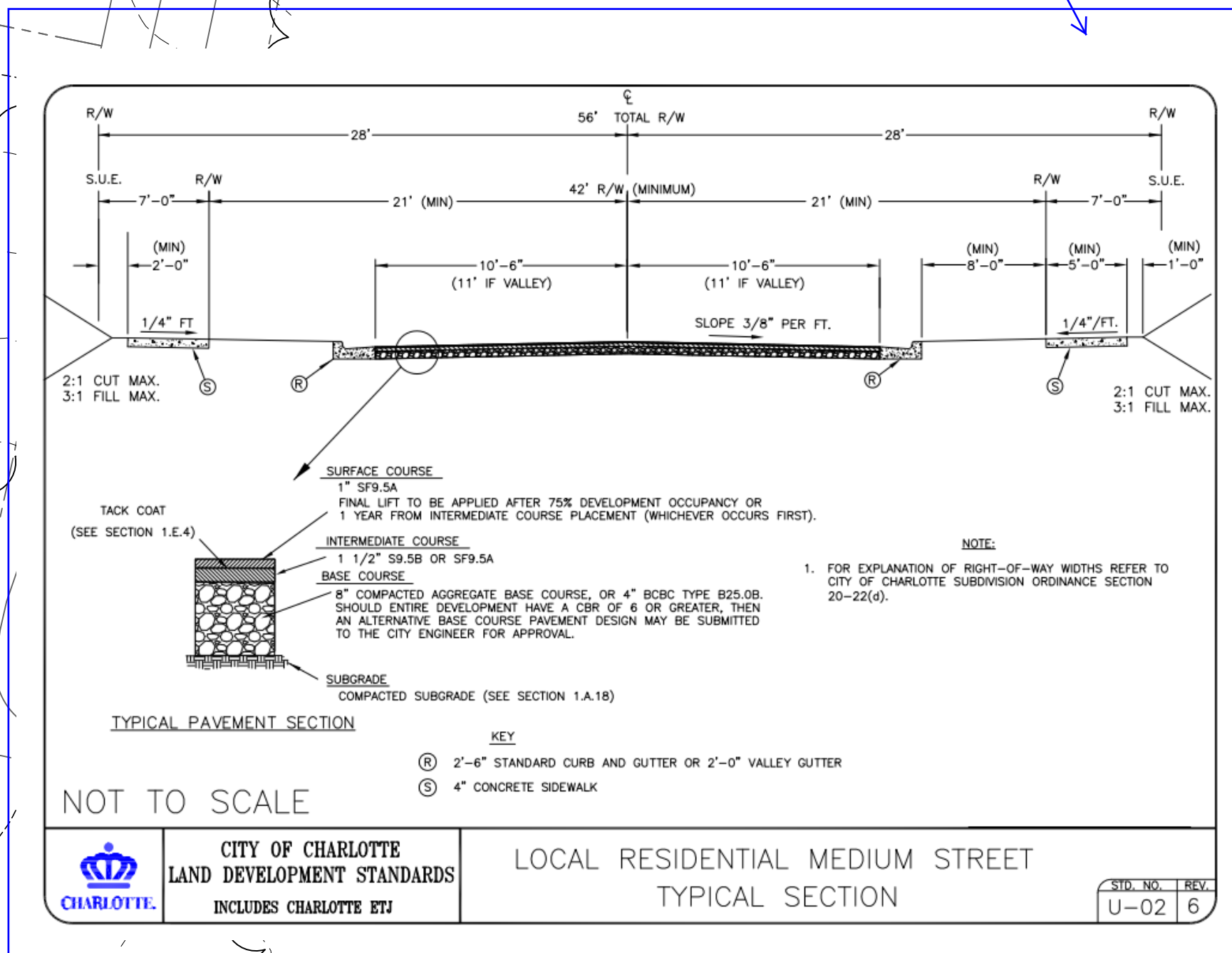
Please also show req'd / provided Natural Area (treed areas) per PCO.

Please ensure all BUA from subdivision is directed to SWM BMP, including back halves of these homes.

Clearly show and label SWIM / WQ buffer. 35' buffer here

Reference/use CLDSM U-02

Please be sure to provide an acceptable street name with the plan submittal.

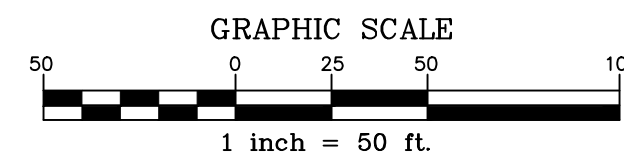


Sidewalk OK as shown, but per current CLDSM detail, sidewalk is not required around end of C-D-S bulb - you can end it with accessible ramps at the throat of the CDS.

where sidewalk goes outside ROW, show a Sidewalk & Utility Easement (SUE) 2' off back of sidewalk.

Please include Post-Construction Ordinance Summary Table, completed with data about site.

Please include on the site plan and stormwater management plan the Max. Built-upon-area per lot allowed per design.



THE JOHN R. MCADAMS COMPANY, INC.
 11801 Carmel Commons Blvd.
 Suite 111
 Charlotte, North Carolina 28226
 License No.: C-006592
 (800) 733-5646 • McAdamsCo.com



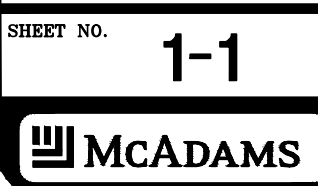
REVISIONS:

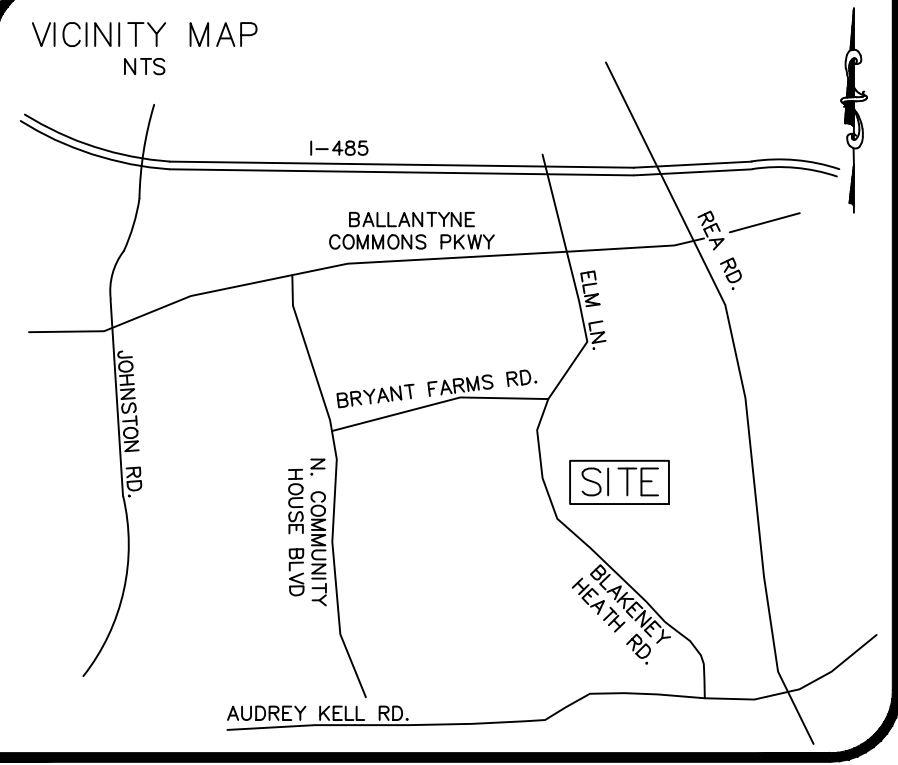


APPLICANT:

COUNTRY LANE PROPERTY
 CITY OF CHARLOTTE, NORTH CAROLINA
 SKETCH PLAN

PROJECT NO. MRH13090
 FILENAME: MRH13090X
 CHECKED BY: RMR
 DRAWN BY: JL
 SCALE: 1"=50'
 DATE: 11-04-2013
 SHEET NO. 1-1





SITE DATA

APPLICANT: MERITAGE HOMES
11605 NORTH COMMUNITY HOUSE ROAD
SUITE 250
CHARLOTTE, NC 28277

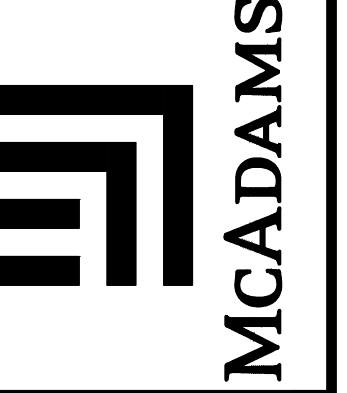
TAX PARCEL #
22922212
22908332
22908333

ACREAGE
6.79
5.85
5.22
TOTAL: 17.86 AC.

EXISTING ZONING:	R-3
PROPOSED ZONING:	R-3 (CLUSTER)
ALLOWED DENSITY:	3.0 UNITS/ACRE
PROPOSED DENSITY:	2.80 UNITS/ACRE
MINIMUM LOT WIDTH:	60 FEET
MINIMUM LOT AREAS:	8,000 SF
FRONT SETBACK:	30 FEET
SIDE YARD:	6 FEET
REAR YARD:	30 FEET
PROPOSED RIGHT OF WAY AREA	113,222 SF (2.60 AC)
REQUIRED MINIMUM OPEN SPACE (%):	10% (1.78 ACRES)
PROVIDED OPEN SPACE:	10%
REQUIRED MINIMUM TREE SAVE (%):	10% (1.53 ACRES)
PROVIDED TREE SAVE:	10%
MAXIMUM BUILDING HEIGHT:	40 FEET

■ TREE SAVE/OPEN SPACE

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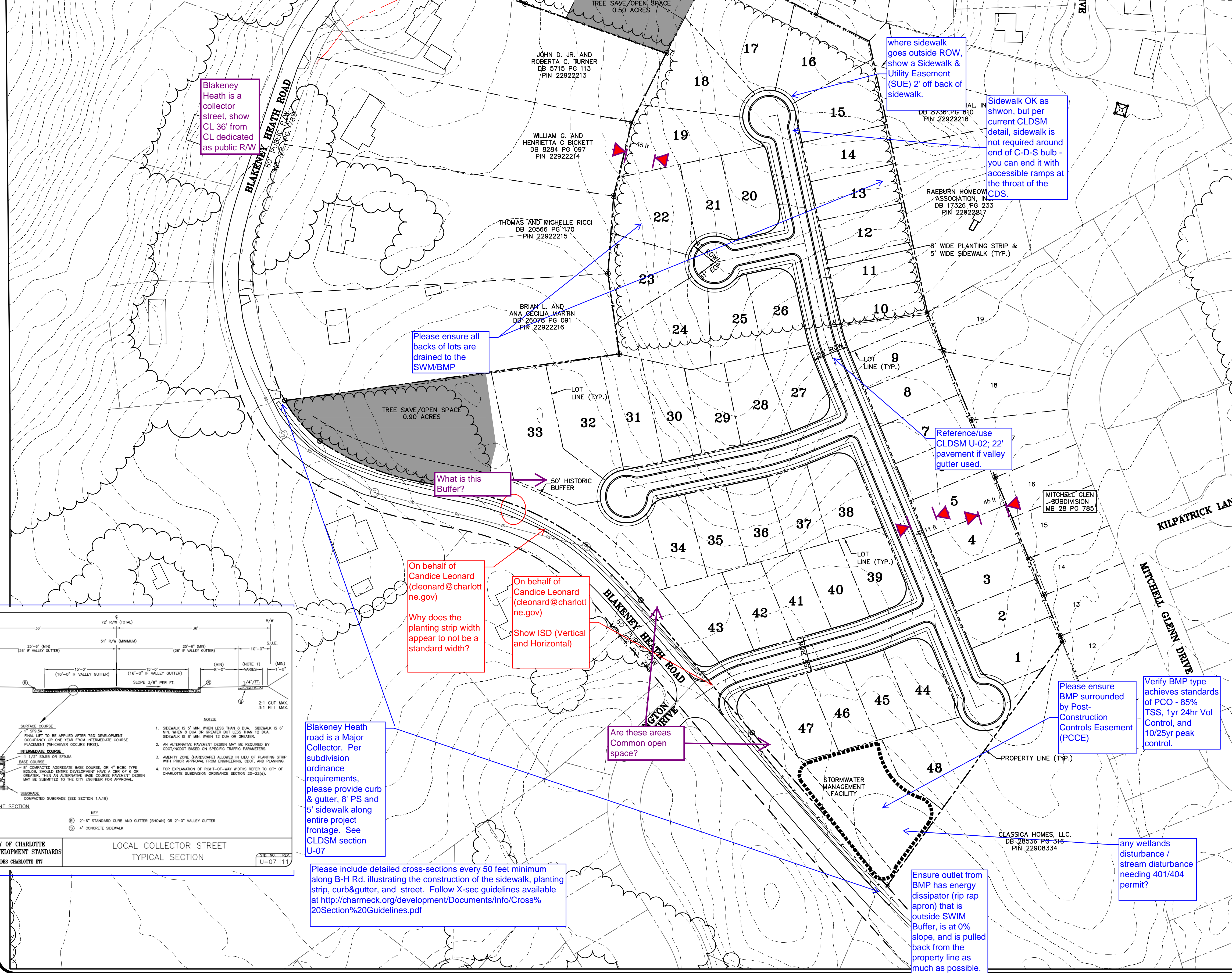
REVISIONS:



APPLICANT:

BLAKENEY HEATH PROPERTY
CITY OF CHARLOTTE, NORTH CAROLINA

PROJECT NO. MRH-13080
FILENAME: MRH-13080X
CHECKED BY: RMR
DRAWN BY: RMR
SCALE: 1"=80'
DATE: 11-04-2013
SHEET NO. 1-1
MCADAMS



Curb, gutter, and sidewalk required along this portion of the site also.

Where is the frontage for these lots?

Please also show req'd / provided Natural Area (treed areas) per PCO.

Where sidewalk goes outside ROW, show a Sidewalk & Utility Easement (SUE) 2' off back of sidewalk.

Sidewalk OK as shown, but per current CLDSM detail, sidewalk is not required around end of C-D-S bulb - you can end it with accessible ramps at the throat of the CDS.

42' from back of curb

45' for all exterior lots.

Please include Post-Construction Ordinance Summary Table, completed with data about site.

Please include on the site plan and stormwater management plan the Max. Built-upon-area per lot allowed per design.

Blakeney Heath is a collector street, show CL 36' from CL 36' dedicated as public RW

Please ensure all backs of lots are drained to the SWM/BMP

Reference/use CLDSM U-02: 22' pavement if valley gutter used.

What is this Buffer?

On behalf of Candice Leonard (cleonard@charlotte.gov)

Why does the planting strip width appear to not be a standard width?

On behalf of Candice Leonard (cleonard@charlotte.gov)

Show ISD (Vertical and Horizontal)

Are these areas Common open space?

Please ensure BMP surrounded by Post-Construction Controls Easement (PCCE)

Verify BMP type achieves standards of PCO - 85% TSS, 1yr 24hr Vol Control, and 10/25yr peak control.

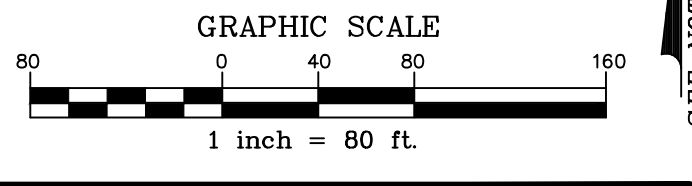
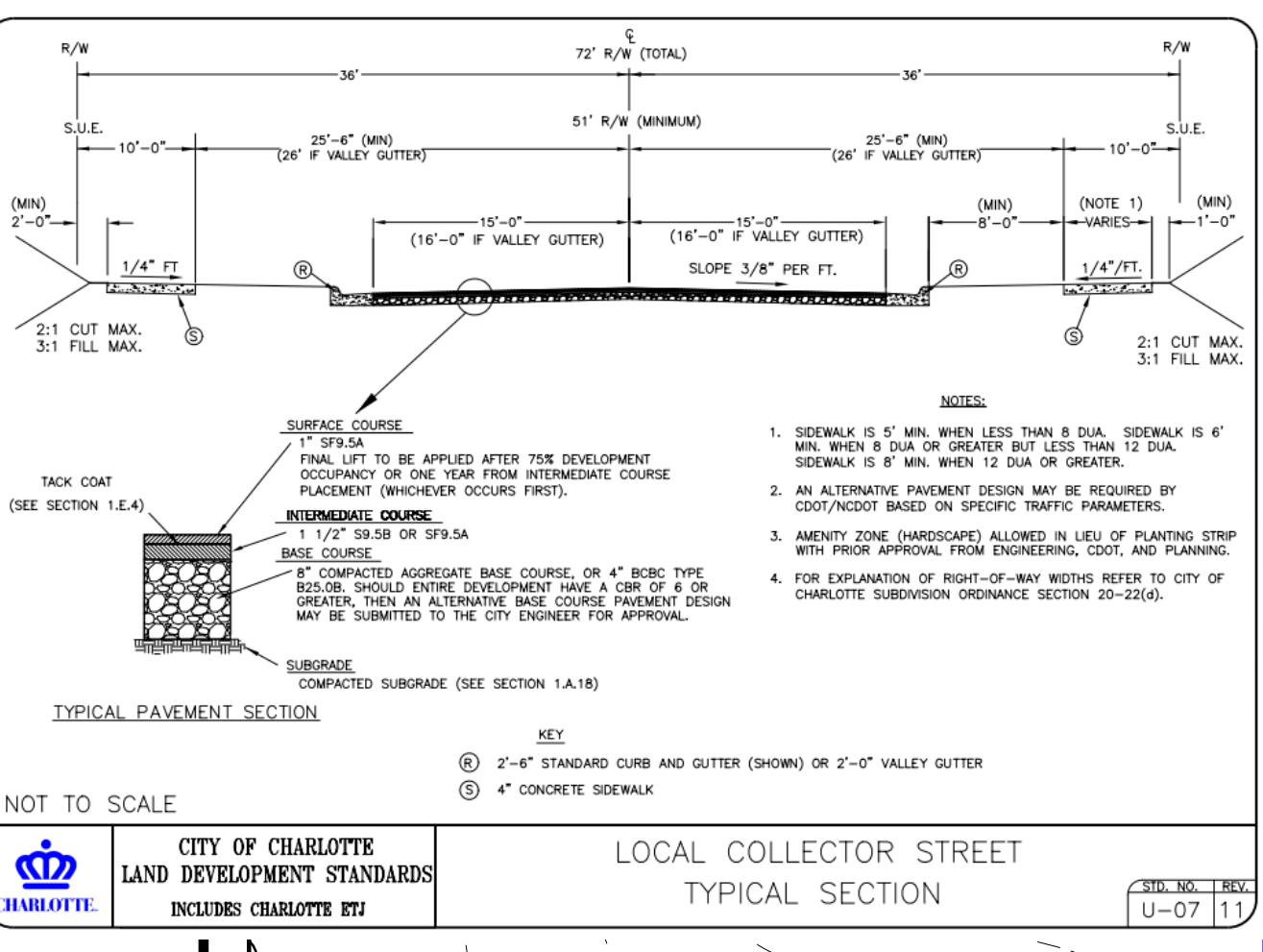
On behalf of Candice Leonard (cleonard@charlotte.gov)
Verify with Planning that connections/stub streets are not required

any wetlands disturbance / stream disturbance needing 401/404 permit?

Ensure outlet from BMP has energy dissipator (rip rap apron) that is outside SWIM Buffer, is at 0% slope, and is pulled back from the property line as much as possible.

Blakeney Heath road is a Major Collector. Per subdivision ordinance requirements, please provide curb & gutter, 8' PS and 5' sidewalk along entire project frontage. See CLDSM section U-07

Please include detailed cross-sections every 50 feet minimum along B-H Rd. illustrating the construction of the sidewalk, planting strip, curb&gutter, and street. Follow X-sec guidelines available at <http://charmeck.org/development/Documents/Info/Cross%20Section%20Guidelines.pdf>



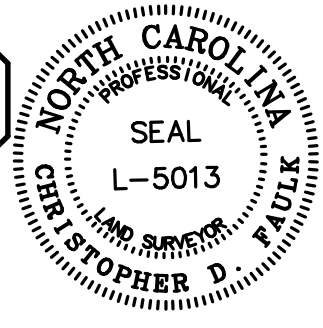
SEE NOTE 2

"I, CHRISTOPHER D. FAULK, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 16289 PAGE 63); THAT THE RATIO OF PRECISION AS CALCULATED IS 1: 10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 29TH DAY OF APRIL, 2015.

STATE OF NORTH CAROLINA
MECKLENBURG COUNTY

I, _____, REVIEW OFFICER OF MECKLENBURG COUNTY, N.C.
CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS
ALL STATUTORY REQUIREMENTS FOR RECORDING.

PRELIMINARY
NOT FOR SALES OR CONVEYANCES



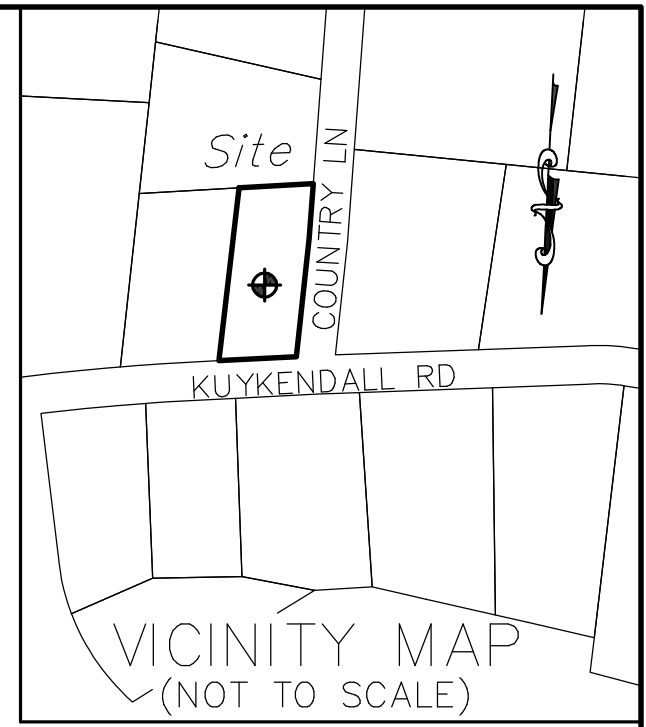
PROFESSIONAL LAND SURVEYOR L-5013

REVIEW OFFICER

DATE

BETTYE BLAIR NEAL
NOW OR FORMERLY
DB 2618 PG 259
TAX ID # 231-151-19

MAP NORTH per
MB 2491 PG 276



- LEGEND**
- RF REBAR FOUND
 - RS REBAR SET
 - R/W RIGHT-OF-WAY
 - SF SQUARE FEET
 - MB MAP BOOK
 - DB DEED BOOK
 - PG PAGE
 - FS FRONT SETBACK
 - RY REAR YARD
 - SY SIDE YARD
 - CP COMPUTED POINT
 - IPF IRON PIPE FOUND

NOTES

1. AREA CALCULATED BY COORDINATE COMPUTATION.
2. ADJOINING PROPERTY OWNERS NAMES WERE TAKEN FROM MECKLENBURG COUNTY TAX OFFICE RECORDS, AND ARE CONSIDERED AS NOW OF FORMERLY.
3. IRON RODS AT ALL CORNERS UNLESS NOTED.
4. THIS MAP IS SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHT-OF-WAY, UTILITIES AND RESTRICTIVE COVENANTS AND PRELIMINARY PLAN WHICH MAY BE OF RECORD.
5. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES, MEASURED WITH ELECTRONIC MEASURING DEVICES.
6. LOT SUBJECT TO ALL ZONING ORDINANCES OF CITY OF CHARLOTTE. BUILDER/OWNER MUST VERIFY THAT LOT IS IN COMPLIANCE WITH ALL COUNTY AND HOMEOWNERS ASSOCIATION ZONING ORDINANCES PRIOR TO ANY LAND DISTURBANCE OR CONSTRUCTION.
7. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH.
8. NO NCGS MONUMENT FOUND WITHIN 2000 FEET.
9. NO STRUCTURE WILL BE ALLOWED WITHIN TEN (10) FEET OF THE TREE SAVE AREA.

THIS PLAT IS NOT SUBJECT TO THE PROVISIONS OF THE CITY OF CHARLOTTE SUBDIVISION ORDINANCES AND DOES NOT REQUIRE THE APPROVAL OF THE CHARLOTTE-MECKLENBURG PLANNING COMMISSION. HOWEVER, ANY FURTHER SUBDIVISION OF THIS PROPERTY MAY BE SUBJECT TO THESE PROVISIONS.

CHARLOTTE-MECKLENBURG PLANNING COMMISSION

PLANNING COMMISSION STAFF

DATE

SITE NOTES:

SITE AREA: 35,253 SF / 0.809 ACRES
 AREA DEDICATED AS PUBLIC R/W: 672 SF / 0.001 ACRES
 TREESAVE REQUIRED: 10% OF TOTAL AREA = 3,525 SF / 0.08 ACRES
 TREESAVE/COMMON OPEN SPACE USED: 2,658 SF / 0.061 ACRES
 SPECIMEN TREE AREA USED FOR TREESAVE: 40" TREE/2,258 SF/0.051 ACRES
 TOTAL TREESAVE/COMMON OPEN SPACE AREA USED: 3,787 SF/0.086 ACRES
 BUILDING SETBACK REQUIREMENTS (MINIMUM) ZONED R-3 CLUSTER
 FRONT: 30' FEET
 SIDE YARD: 5' FEET INTERNAL, 6' FEET EXTERNAL
 REAR YARD: 45' FEET EXTERNAL, 30' FEET INTERNAL
 MINIMUM LOT WIDTH: 60' FEET
 MINIMUM LOT AREA: 8,000 SF

FLOOD NOTE:

NO PORTION OF THE SUBJECT PROPERTY SHOWN HEREON LIES WITHIN A SPECIAL FLOOD HAZARD AREA PER F.E.M.A. FLOOD INSURANCE RATE MAP. COMMUNITY PANEL 3710447800K, DATED: FEBRUARY 19, 2014.

AREA DEDICATED TO THE CITY OF CHARLOTTE AS RIGHT OF WAY 672 SF

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

LINE	BEARING	DISTANCE
L1	S 21°04'05" W	54.18
L2	N 01°42'13" W	52.34
L3	N 88°17'47" E	41.00
L4	S 88°22'24" W	20.00
L5	N 06°01'05" E	20.08
L6	N 88°15'26" E	50.36
L7	N 01°48'11" W	30.01
L8	N 88°15'26" E	63.85

FINAL PLAT
 AT PROPERTY KNOWN AS
 # 4720 COUNTRY LANE
 LOT B, MAP BOOK 2491 PAGE 276
 DEED BOOK 16289 PAGE 63
 TAX # 231-151-18
 OWNER: JAMES SHUMAN JR.
 CITY OF CHARLOTTE, MECKLENBURG COUNTY, NC
 DATE: APRIL 29, 2015

PHOENIX LAND SURVEYING, INC
 1402 WAXHAW-INDIAN TRAIL ROAD
 INDIAN TRAIL, NORTH CAROLINA 28079
 PH: (704)-335-1655 FAX: 704-684-0514
 EMAIL: PHOENIX-SURVEYING.COM
 FIRM # C-3912

Flotree, Cheyenne

From: Planning - North Conf Rm 885, CMGC, 600 E 4th St, 8th Fl
Sent: Tuesday, May 22, 2018 5:12 PM
To: Frye, Shannon
Subject: Accepted: Country Lane - confirmation

Your request was accepted.

Sent by Microsoft Exchange Server 2010

Flotree, Cheyenne

From: Weaver, Joshua
Sent: Thursday, January 9, 2014 10:18 AM
To: Frye, Shannon
Subject: Accepted: Country Lane 2013 - customer service follow up

Flotree, Cheyenne

From: Frye, Shannon
Sent: Friday, January 11, 2013 2:37 PM
To: Rorie, Dennis
Subject: Accepted: Country Lane Sketch Plan

Flotree, Cheyenne

From: Frye, Shannon
Sent: Friday, January 25, 2013 1:18 PM
To: Weaver, Joshua
Subject: Accepted: Country Lane Sketch

Flotree, Cheyenne

From: Boenisch, Jeffrey
Sent: Tuesday, June 5, 2018 11:06 AM
To: bernst@kdavies.com
Cc: Quinn, Johanna; Horltd, Bruce; Smith, David
Subject: Country Lane

Mr. Ernst:

Per your request, I wanted to provide you some information regarding the non-City maintained portion of Country Lane.

A recent request involved asking the City to remove a fence erected by a private property owner on a non-City maintained portion of Country Lane. At that time, City staff expressed that it does not have any interest in unaccepted/non-City maintained rights-of-way, and hence, the dispute regarding the fence is more properly resolved between the party who created the complaint/request and the private property owner who refuses to move the fence.

Furthermore, the City of Charlotte Attorney's Office conducted more research regarding this matter. The available research supports the City's expressed position that this issue is one amongst private property owners, and the City need not intervene.

Jeff Boenisch

Right-of-Way Coordinator

Charlotte Department of Transportation

Development Services Division

(o) 704 336-3888

(f) 704 336-4400

Country Lane



Weaver, Joshua

Required Frye, Shannon; Johnson, Carolyn

As the meeting organizer, you do not need to respond to the meeting.

Thursday, May 17, 2018 3:00 PM-3:30 PM Shared - Conf Rm 801, CMGC, 600 E 4th St, 8th Fl



FW: [EXT]
Meeting request...

Accept Tentative Decline Propose New Time

Wed 5/16/2018 12:22 PM

Country Lane Phone Call



Frye, Shannon

Required Weaver, Joshua

As the meeting organizer, you do not need to respond to the meeting.

Friday, July 6, 2018 1:30 PM-2:00 PM my office

Accept ? Tentative X Decline Propose New Time

Fri 7/6/2018 11:40 AM

Flotree, Cheyenne

From: Craig, Gina <gina.craig@nuveen.com>
Sent: Tuesday, July 31, 2018 3:46 PM
To: Frye, Shannon; Weaver, Joshua
Cc: Eric Craig (gandecraig@mac.com); Kenneth Davies (kdavies@kdavies.com)
Subject: [EXT] Chelsea off Providence - siteplan concerns
Attachments: Chelsea off Providence siteplan 7-5-2018.pdf; 4609 Country Ln_Survey 2015-03-06 (Craig purchase).pdf

EXTERNAL EMAIL: This email originated from the Internet. Do not click any images, links or open any attachments unless you recognize and trust the sender and know the content is safe.

Hi Shannon and Josh,

We have a few concerns about a set of plans recently submitted for review. Our concerns stem from our position as adjacent land owners to the proposed development. We are communicating these items so they can be considered during the review process.

Regarding: Chelsea Off Providence development. Please refer to attached siteplan.

1. **Private drive.** During our previous discussions with the developer, Greg Whitehead, he stated that he was considering putting in a private driveway, generally speaking, from near the intersection of Country Lane and Loma Linda Lane. We do not see a private drive noted on the submitted plans, so we are not exactly sure what is intended. However, we are concerned that such a private drive could interfere with the tree save area and undisturbed natural area as noted on the siteplan, and possibly have impacts to the watershed area around the creek running through this part of the property.
2. **Property line location.** Also during our previous discussions with Greg Whitehead, there was a disagreement around the physical location of the property line between our lot (particularly on the eastern side) and the lots included in the proposed development. For reference, I have attached a copy of our survey, performed by Earl Lineberger, showing the property line location. At the time of the previous disagreement, Mr. Whitehead's draft sketch plan had the property line and R/W as shown on M.B. 1487, Pg. 459 located further to the west, resulting in encroachment on our lot. We believe this disagreement was resolved, but if the siteplan results in the utilization of lot or R/W boundaries farther west compared to the attached survey, this would be a great concern to us because it would result in an encroachment on our lot.
3. **Blasting rock.** We are concerned about the monitoring and restrictions around using explosives or other blasting methods to remove ground rock. During a separate development that occurred adjacent to our property, the Providence Retreat Phase II development, the blasting caused notable tremors within our house. We are concerned that nearby blasting for the potential development of Chelsea Off Providence could cause further tremors and potentially damage our foundation or other structural aspects of our home. We would like to know what guidelines are in place to oversee blasting activity, particularly in a residential area, and would like to understand if there are specific resources in the city planning department to help us navigate potential complications associated with any blasting activities.

Thank you for the time you have spent with us throughout this process.

I'll point out that I have copied Ken Davies on this message. He is our attorney for a matter we filed related to our property. I think you are aware of this matter.

If you have any questions, please let us know.

Thank you,
Gina and Eric Craig

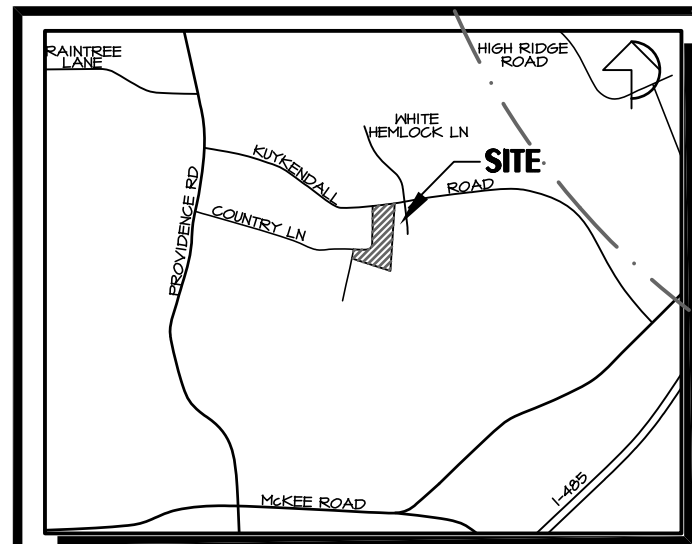
GINA CRAIG
VP | Director of Compensation and Equity Plan Accounting | Finance

gina.craig@nuveen.com
office/mobile: 704.988.3323

Nuveen
8625 Andrew Carnegie Blvd. | 3rd Floor | E3-S3-13
Charlotte, NC 28262
nuveen.com

nuveen
A TIAA Company

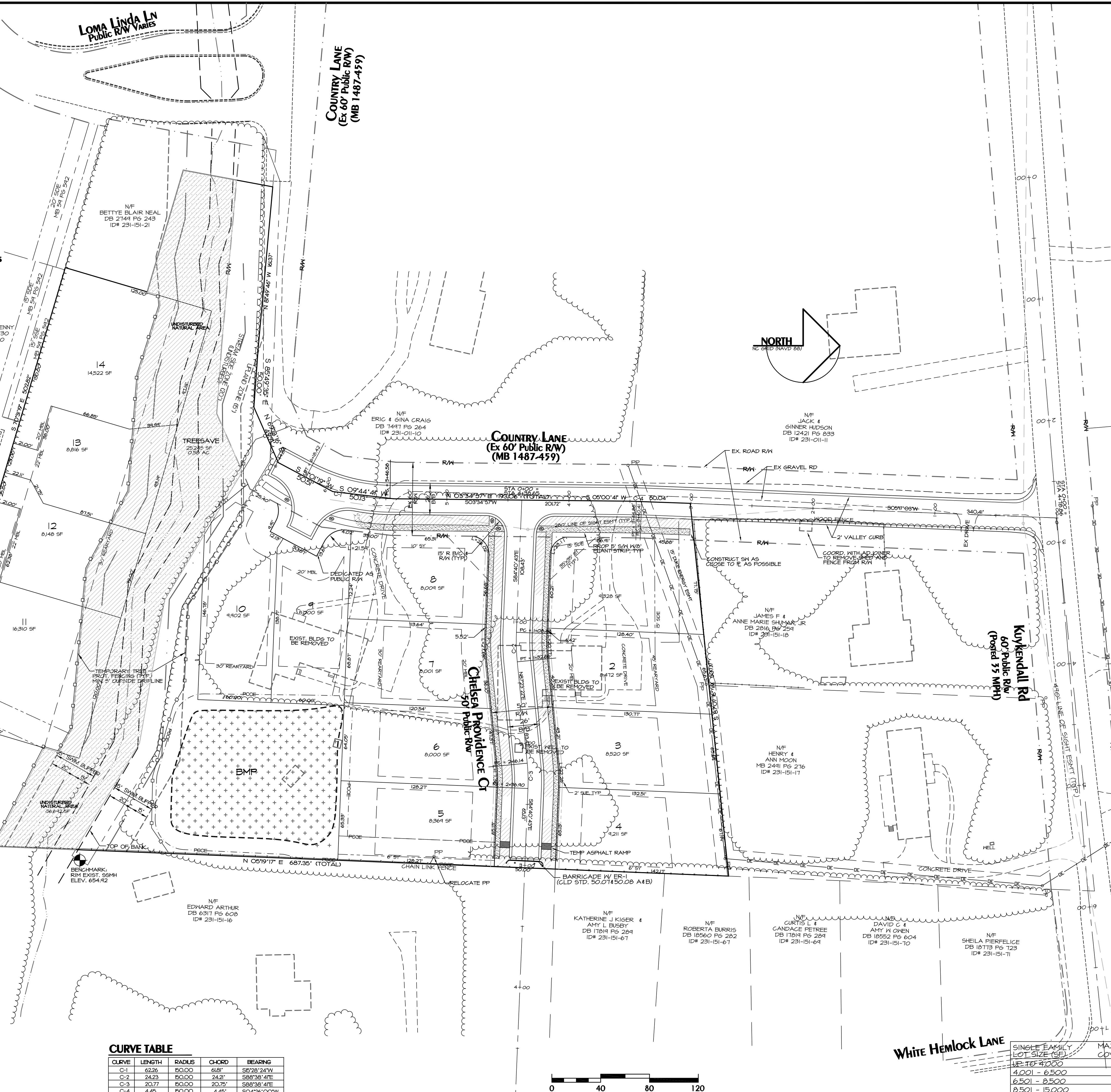
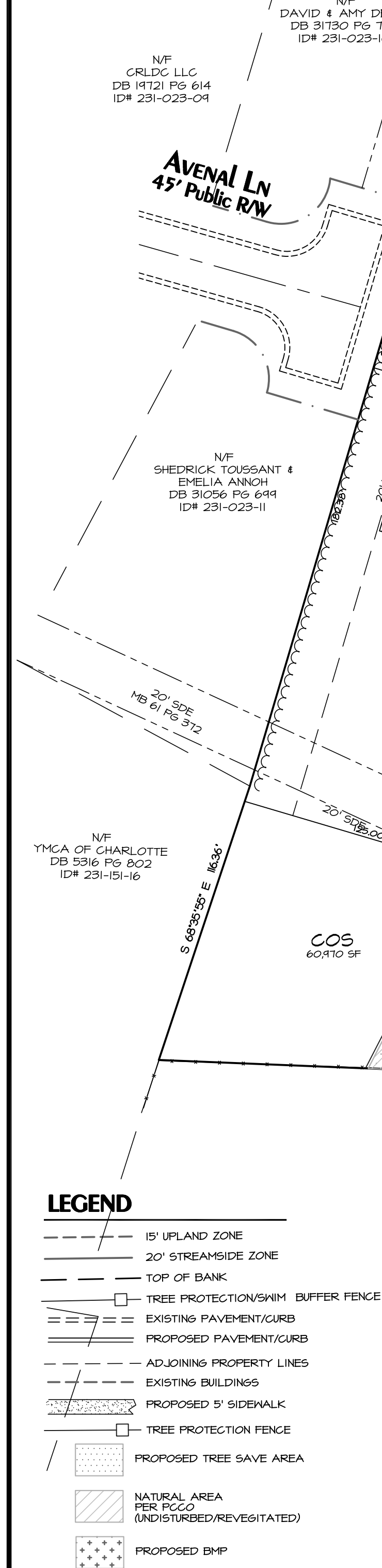
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VICINITY MAP NTS

SHEET INDEX

- | SHEET No. | SHEET Title |
|-----------|---|
| 1 | Preliminary Subdivision Site |
| 2 | Landscape Plan |
| 3 | Storm Drainage and Grading Plan |
| 4 | Erosion Control Plan (PRE) |
| 5 | Erosion Control Plan (POST) |
| 6 | Roadway & Storm Drainage Profiles & Site Construction Details |
| 7 | Site Construction Details |
| 8 | Drainage Area Map |
| 9 | BMP Detail Sheet |
| 10 | 100+1 X-SECTS |



GENERAL NOTES

THIS PRELIMINARY SUBDIVISION PLAN IS SUBMITTED, AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CHARLOTTE ZONING AND SUBDIVISION ORDINANCES, AND THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL. BOUNDARY SURVEY INFORMATION PER SURVEY PREPARED BY JAMES MAINY & ASSOCIATES TOPOGRAPHIC INFORMATION TAKEN FROM PHOTOGRAMMETRIC MAPPING BY CITY OF CHARLOTTE CHIEF SUBDIVISION INSPECTOR SHALL BE GIVEN 48 HOURS ADVANCE NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION. LOT DIMENSIONS ARE APPROXIMATE, REFERENCE RECORD PLAT FOR EXACT LOT DIMENSIONS.

ALL STORM DRAINAGE PIPE SHALL BE CLASS 3 REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED. PIPE LENGTHS INDICATED ON THE PLANS ARE APPROXIMATE AND ARE SUBJECT TO CHANGE DUE TO FIELD CONDITIONS. REFERENCE SHEETS 4 & 5 FOR EROSION CONTROL PLAN AND NOTES. REFERENCE SHEET 7 FOR EROSION CONTROL DETAILS.

CONSTRUCTION OF ALL DEVELOPMENT IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL. REFERENCE SHEET 7 FOR SITE DETAILS. THE FOLLOWING ADDITIONAL DETAILS ARE INCLUDED BY REFERENCE:

ITEM	CLD/CDD/STD. NO.
CURB AND GUTTER	10.17
CURB TRANSITION	10.19
CATCH BASIN LOCATION	10.21 & 10.30
(C) BRICK CATCH BASIN	04.01 & 04.02
(DC) DOUBLE CATCH BASIN	20.03 & 20.04
STREET NAME SIGN	30.29
CONCRETE MONUMENT	50.23
SIDEWALK	10.22

APPROXIMATE COMPLETION TIME IS FALL 2018. WATER AND SANITARY SEWER SERVICE SHALL BE PROVIDED BY EXTENSION OF THE EXISTING CHARLOTTE-MECKLENBURG UTILITY SYSTEM. SIDEWALK NOTE: THE CONTRACTOR SHALL COORDINATE WITH THE SUBDIVISION INSPECTOR FOR LATEST REVISION OF HANDICAP RAMP DETAILS) PRIOR TO PLACEMENT OF ANY H.C. RAMPS AND/OR SIDEWALK. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR. ALL ROAD IMPROVEMENTS AT COUNTRY LANE ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENG. DEPARTMENT 4 NCDOT PRIOR TO CONSTRUCTION. DEVELOPER WILL PROVIDE STREET SIGNING PER CDD/STD. 30.29 (SIGN ONLY). SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.

IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.2% SLOPE ON THE CURB. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR. CURB AND GUTTER SHOWN ON PLANS ALONG COUNTRY LANE MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERS. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS. THE PURPOSE OF THE STORM DRAINAGE SYSTEM IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPED STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY. THE DEVELOPER SHALL MAINTAIN STREAM GREEK OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TWIGS, JUNK AND OTHER ACCUMULATIONS.

AS-BUILT DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DETAILINGS, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE. ANY BUILDING WITHIN THE 100' SETBACK ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE CITY OF CHARLOTTE/MECKLENBURG COUNTY SUBDIVISION ORDINANCE SECTION 12.02A. ANY CONSTRUCTION OR USE WITHIN THE RESTRICTIONS OF THE 100' SETBACK LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.

ALL OPENINGS (E.G. DOORS, WINDOWS, VENTS) IN STRUCTURES BUILT ON LOT 5 SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100' FLOOD ANALYSIS). PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION. PRIOR TO INSTALLATION PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO CITY OF CHARLOTTE ENGINEERING FOR APPROVAL. PRIOR TO CONSTRUCTION PE SEALED SHOP DRAWINGS OF ALL WATER QUALITY BMP'S AND DETENTION SYSTEMS MUST BE SUBMITTED.

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DEVELOPMENT DATA

TAX PARCEL NO.: 231-151-1204 21 ZONING JURISDICTION: CITY OF CHARLOTTE ZONING CLASSIFICATION: R-3 (DEVELOPED AS R-3 CLUSTER) SITE AREA: 5.22 AC. NO. OF UNITS ALLOWED/PROPOSED: 5.22 x 5 = 15 AREA IN EASEMENTS/R/W: 0.60 AC. NET TOTAL SITE AREA: 4.62 AC. TREE SAVE REQUIRED/PROVIDED: 108 x 4.62 AC = 0.46 AC/0.58 AC. ADD. LOTS FOR TREE SAVE IN COS: 0.58 (0.26) AC x 3 = 1 LOTS. NO. OF UNITS ALLOWED/PROPOSED: 15 + 16 = 31 COMMON OPEN SPACE REQUIRED: 108 x 5.22 AC = 0.92 AC. COMMON OPEN SPACE PROVIDED: 1.40 AC = 26.6%.

R-3 CLUSTER LOT DATA:
 MIN. LOT SIZE = 8,000 SF
 MIN. LOT WIDTH = 60'
 MIN. SETBACK = 20'
 MIN. SIDE YARD = 6' EXTERNAL, 5' INTERNAL
 MIN. REAR YARD = 45' EXTERNAL, 30' INTERNAL
 * TREE SAVE INCENTIVE

THE MAXIMUM BUA IS 3,800 SF PER LOT (LOTS 1-10)
 THE MAXIMUM BUA IS 4,087 SF PER LOT (LOTS 11-14)

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	BEARING
C-1	62.26	50.000	61.8'	S67°28'24"W
C-2	24.23	50.000	24.2'	S68°38'47"E
C-3	20.77	50.000	20.75'	S88°38'47"E
C-4	4.45	50.000	4.45'	S04°26'00"W



KENNEY DESIGN GROUP, PA

1216 PARSONS TRAIL
 DENVER, NORTH CAROLINA 28037
 PH: 704/377-6099
 EMAIL: KENNEY@KENNEYDESIGN.COM

Scale: 1"=40'
 Date: 1/17/18
 Drawn By: MKK
 Designed By: MKK
 Job No.: 1017

Preliminary Subdivision Site Plan

Chelsea off Providence

City of Charlotte, Mecklenburg County, North Carolina
 SGW, LLC, 1872 India Hook Rd, Rock Hill, SC 29772

Sheet No. **1** of 10

THIS IS TO CERTIFY THAT ON THE 6TH DAY OF MARCH 20 15, I SURVEYED THE PROPERTY SHOWN ON THIS PLAT, AND THAT THE TITLE LINES AND THE WALLS OF THE BUILDING IF ANY ARE SHOWN HEREON. PLAT - NOT FOR RECORDATION.

SIGNED EARL L. LINDEBERGER
 PROFESSIONAL SURVEYOR
 EARL L. LINDEBERGER
 427 WEDGERS DRIVE
 CHARLOTTE, N.C. 28211



12

ARTHUR MAKI
 8471-119

11

JACK HUDSON
 12421-833

JAMES SHUMAN
 16289-63

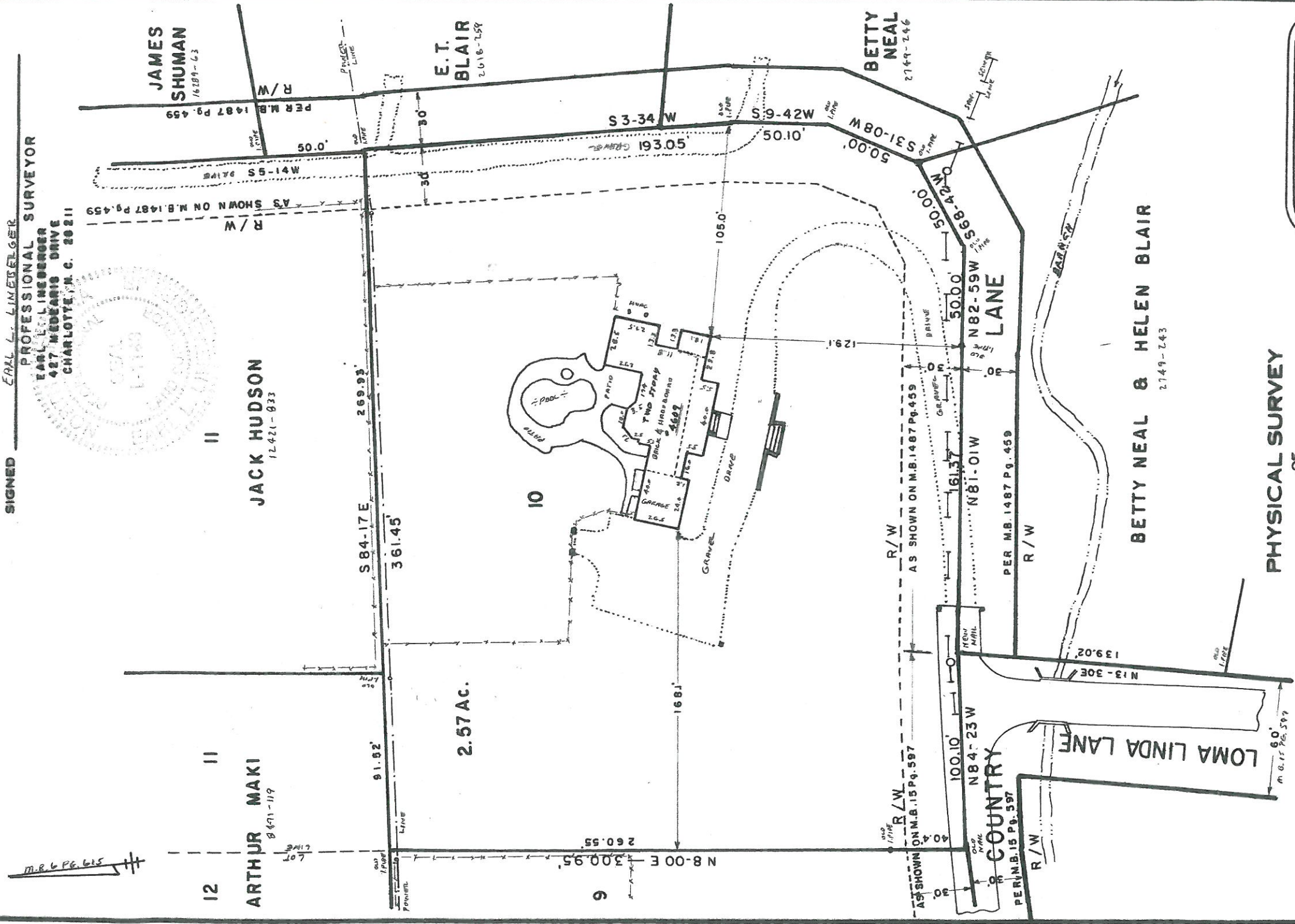
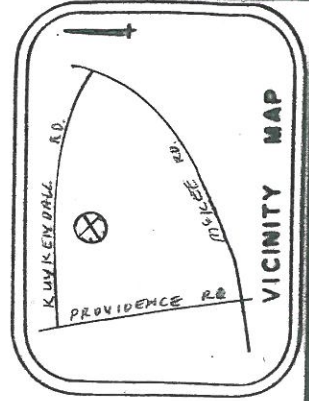
E.T. BLAIR
 2618-259

BETTY NEAL
 2749-246

BETTY NEAL & HELEN BLAIR
 2749-243

PHYSICAL SURVEY
 OF
 LOT 10
 COUNTRY COLONY
 CHARLOTTE, N.C.

THE PROPERTY OF ERIC EDWARD CRAIG & GINA DIANE CRAIG
 SCALE 1" = 60'
 MAP BOOK 6 PAGE 615
 DEED BOOK _____ PAGE _____



Flotree, Cheyenne

From: Greg Whitehead <greg@cornerstonedevelopment.net>
Sent: Friday, August 3, 2018 4:25 PM
To: gandecraig@mac.com; Eric.Craig@ttaa.org
Cc: Weaver, Joshua; Mike Kenney; Chris Faulk
Subject: [EXT] FW: [EXT] Chelsea off Providence - siteplan concerns
Attachments: Chelsea off Providence siteplan 7-5-2018.pdf; 4609 Country Ln_Survey 2015-03-06 (Craig purchase).pdf

EXTERNAL EMAIL: This email originated from the Internet. Do not click any images, links or open any attachments unless you recognize and trust the sender and know the content is safe.

Gena

I will respond comprehensively to your email below but would first like clarification to your number 2 bullet point. The survey you provide from your surveyor (attached) shows a 60' wide right of way with 30' on each side of the right of way. After our meeting at Dan's office, I paid Mike Kenny to centered the new roadway in the center of the right of way. I believe this was the direction given. I asked our surveyor to match your surveyor's centerline. Provided that we do not move the roadway from the design that was submitted to the city, are you satisfied with the location of the roadway within the right of way?

Below is a copy of bullet point #2.

- 2) **Property line location.** Also during our previous discussions with Greg Whitehead, there was a disagreement around the physical location of the property line between our lot (particularly on the eastern side) and the lots included in the proposed development. For reference, I have attached a copy of our survey, performed by Earl Lineberger, showing the property line location. At the time of the previous disagreement, Mr. Whitehead's draft sketch plan had the property line and R/W as shown on M.B. 1487, Pg. 459 located further to the west, resulting in encroachment on our lot. We believe this disagreement was resolved, but if the siteplan results in the utilization of lot or R/W boundaries farther west compared to the attached survey, this would be a great concern to us because it would result in an encroachment on our lot.

From: Mike Kenney <mkenney@kenneydesign.com>
Sent: Friday, August 3, 2018 3:40 PM
To: Greg Whitehead <greg@cornerstonedevelopment.net>; 'Chris Faulk' <CFaulk@MetroESA.com>
Subject: FW: [EXT] Chelsea off Providence - siteplan concerns

FYI

Mike Kenney
Kenney Design Group
1216 Parsons Trail
Denver, NC 28037

704/377-6099
704/634-7186 (cell)

From: Weaver, Joshua <jfweaver@ci.charlotte.nc.us>
Sent: Friday, August 03, 2018 3:10 PM
To: Mike Kenney (<mkenney@kenneydesign.com>) <mkenney@kenneydesign.com>
Subject: FW: [EXT] Chelsea off Providence - siteplan concerns

Mike,

FYI I received these concerns from the Craig's

Joshua Weaver

Interim Subdivision Administrator

Charlotte Planning, Design & Development Department

City of Charlotte

600 East 4th Street, 8th Floor, Charlotte, NC 28202

D: 704.336.5720

jfweaver@charlottenc.gov

[Creating Great Places for Our Community](#)



From: Craig, Gina [<mailto:gina.craig@nuveen.com>]

Sent: Tuesday, July 31, 2018 3:46 PM

To: Frye, Shannon; Weaver, Joshua

Cc: Eric Craig (gandecraig@mac.com); Kenneth Davies (kdavies@kdavies.com)

Subject: [EXT] Chelsea off Providence - siteplan concerns

EXTERNAL EMAIL: This email originated from the Internet. Do not click any images, links or open any attachments unless you recognize and trust the sender and know the content is safe.

Hi Shannon and Josh,

We have a few concerns about a set of plans recently submitted for review. Our concerns stem from our position as adjacent land owners to the proposed development. We are communicating these items so they can be considered during the review process.

Regarding: Chelsea Off Providence development. Please refer to attached siteplan.

1. **Private drive.** During our previous discussions with the developer, Greg Whitehead, he stated that he was considering putting in a private driveway, generally speaking, from near the intersection of Country Lane and Loma Linda Lane. We do not see a private drive noted on the submitted plans, so we are not exactly sure what is intended. However, we are concerned that such a private drive could interfere with the tree save area and undisturbed natural area as noted on the siteplan, and possibly have impacts to the watershed area around the creek running through this part of the property.
2. **Property line location.** Also during our previous discussions with Greg Whitehead, there was a disagreement around the physical location of the property line between our lot (particularly on the eastern side) and the lots included in the proposed development. For reference, I have attached a copy of our survey, performed by Earl Lineberger, showing the property line location. At the time of the previous disagreement, Mr. Whitehead's draft

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3. **Blasting rock.** We are concerned about the monitoring and restrictions around using explosives or other blasting methods to remove ground rock. During a separate development that occurred adjacent to our property, the Providence Retreat Phase II development, the blasting caused notable tremors within our house. We are concerned that nearby blasting for the potential development of Chelsea Off Providence could cause further tremors and potentially damage our foundation or other structural aspects of our home. We would like to know what guidelines are in place to oversee blasting activity, particularly in a residential area, and would like to understand if there are specific resources in the city planning department to help us navigate potential complications associated with any blasting activities.

Thank you for the time you have spent with us throughout this process.

I'll point out that I have copied Ken Davies on this message. He is our attorney for a matter we filed related to our property. I think you are aware of this matter.

If you have any questions, please let us know.

Thank you,
Gina and Eric Craig

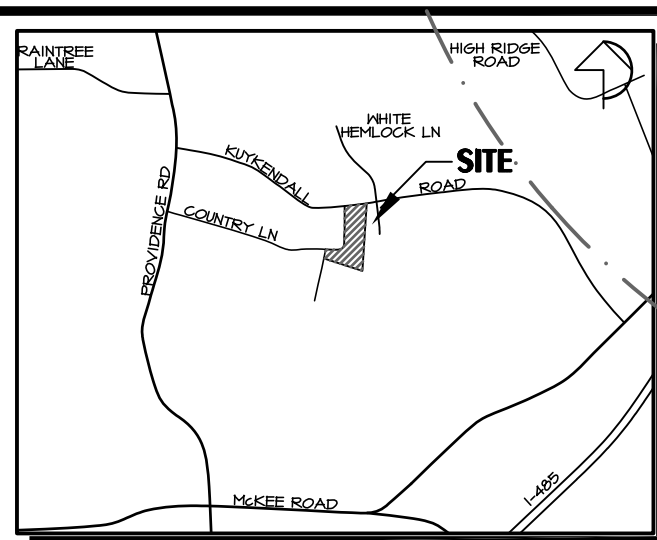
GINA CRAIG
VP | Director of Compensation and Equity Plan Accounting | Finance

gina.craig@nuveen.com
office/mobile: 704.988.3323

Nuveen
8625 Andrew Carnegie Blvd. | 3rd Floor | E3-S3-13
Charlotte, NC 28262
nuveen.com

nuveen
A TIAA Company

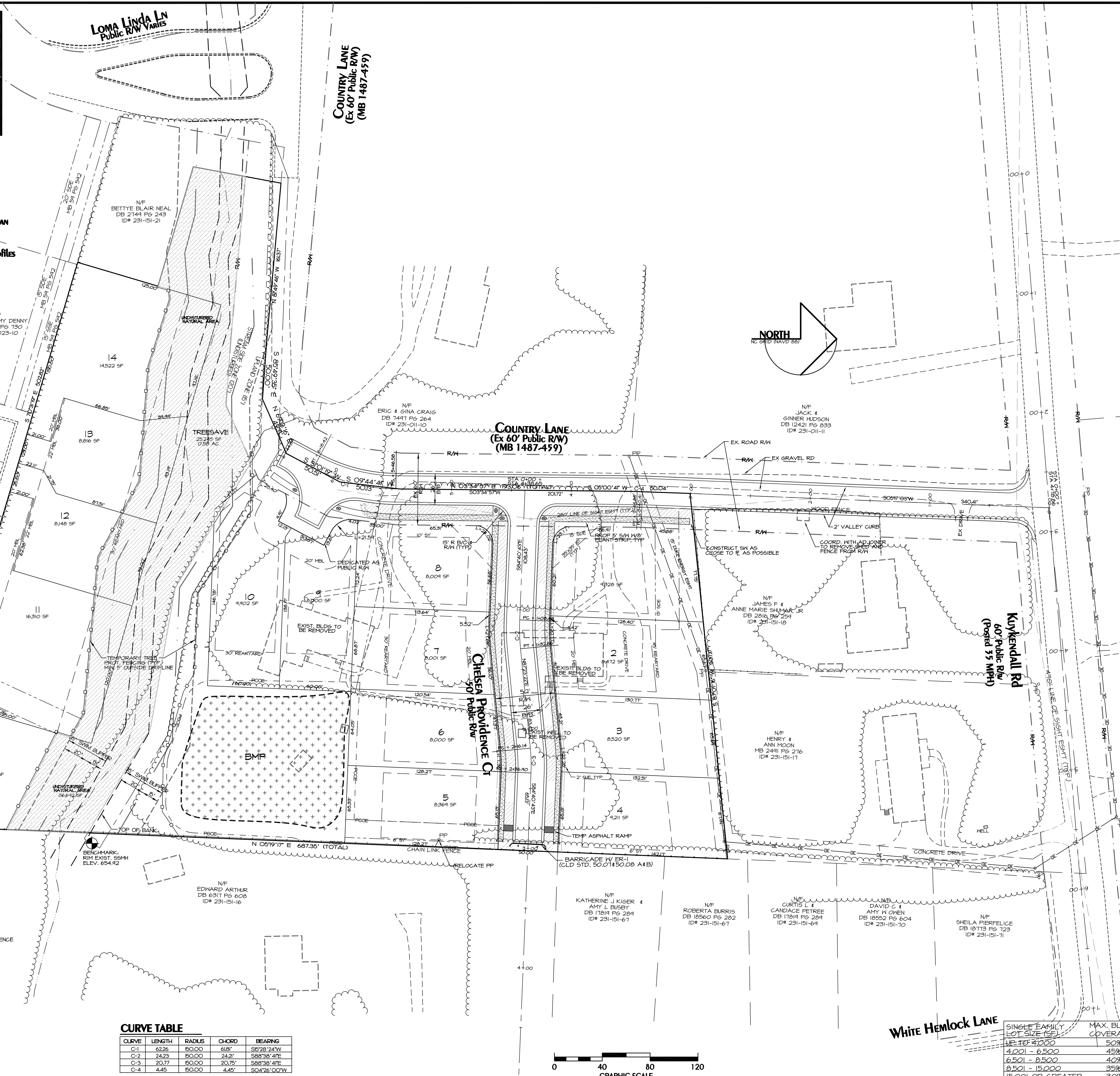
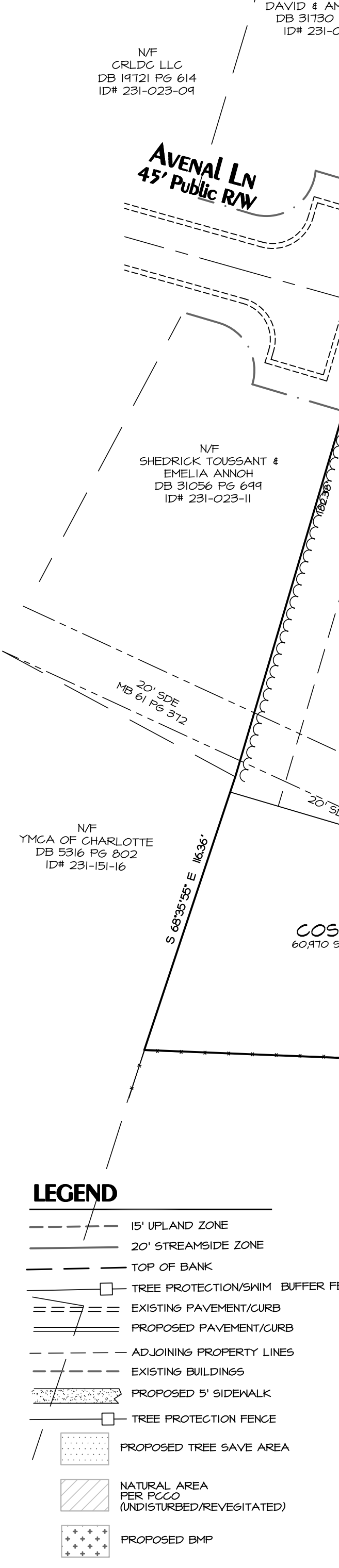
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VICINITY MAP NTS

SHEET INDEX

SHEET No.	SHEET Title
1	Preliminary Subdivision Site
2	Landscape Plan
3	Storm Drainage and Grading Plan
4	Erosion Control Plan (Pre)
5	Erosion Control Plan (Post)
6	Roadway & Storm Drainage Profiles & Site Construction Details
7	Site Construction Details
8	Drainage Area Map
9	BMP Detail Sheet
10	100+1 X-SECTS



GENERAL NOTES

THIS PRELIMINARY SUBDIVISION PLAN IS SUBMITTED, AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CHARLOTTE ZONING AND SUBDIVISION ORDINANCES, AND THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL. BOUNDARY SURVEY INFORMATION PER SURVEY PREPARED BY JAMES MAINY & ASSOCIATES TOPOGRAPHIC INFORMATION TAKEN FROM PHOTOGRAMMETRIC MAPPING BY CITY OF CHARLOTTE CHIEF SUBDIVISION INSPECTOR SHALL BE GIVEN 48 HOURS ADVANCE NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION. LOT DIMENSIONS ARE APPROXIMATE, REFERENCE RECORD PLAT FOR EXACT LOT DIMENSIONS. ALL STORM DRAINAGE PIPE SHALL BE CLASS 3 REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED. PIPE LENGTHS INDICATED ON THE PLANS ARE APPROXIMATE AND ARE SUBJECT TO CHANGE DUE TO FIELD CONDITIONS. REFERENCE SHEETS 1 & 3 FOR EROSION CONTROL PLAN AND NOTES. REFERENCE SHEET 7 FOR EROSION CONTROL DETAILS. CONSTRUCTION OF ALL DEVELOPMENT IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL. REFERENCE SHEET 7 FOR SITE DETAILS. THE FOLLOWING ADDITIONAL DETAILS ARE INCLUDED BY REFERENCE:

ITEM	CLD/NOTED STD. NO.
CURB AND GUTTER	10.17
CURB TRANSITION	10.19
CATCH BASIN LOCATION	10.21 & 10.30
(G) BRICK CATCH BASIN	04.01 & 04.02
(DC) DOUBLE CATCH BASIN	20.03 & 20.04
STREET NAME SIGN	30.29
CONCRETE MONUMENT	50.23
SIDEWALK	10.22

APPROXIMATE COMPLETION TIME IS FALL 2018. WATER AND SANITARY SEWER SERVICE SHALL BE PROVIDED BY EXTENSION OF THE EXISTING CHARLOTTE-MECKLENBURG UTILITY SYSTEM. SIDEWALK NOTE: THE CONTRACTOR SHALL COORDINATE WITH THE SUBDIVISION INSPECTOR FOR LATEST REVISION OF HANDICAP RAMP DETAILS) PRIOR TO PLACEMENT OF ANY HC RAMP AND/OR SIDEWALK. COORDINATE ALL CURB AND STREET GRADINGS IN INTERSECTION WITH INSPECTOR. ALL ROAD IMPROVEMENTS AT COUNTRY LANE ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENG. DEPARTMENT 4 NCDOT PRIOR TO CONSTRUCTION. DEVELOPER WILL PROVIDE STREET SIGNING PER CLD/NOTED STD. R-308 (ONLY) SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.2% SLOPE ON THE CURB. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR. CURB AND GUTTER SHOWN ON PLANS ALONG COUNTRY LANE MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. 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DEVELOPMENT DATA

TAX PARCEL NO.: 231-151-1204 21
 ZONING JURISDICTION: CITY OF CHARLOTTE
 ZONING CLASSIFICATION: R-3 (DEVELOPED AS R-3 CLUSTER)
 SITE AREA: 5.22 AC
 NO. OF UNITS ALLOWED/PROPOSED: 5
 AREA IN EASEMENTS/R/W: 0.60 AC
 NET TOTAL SITE AREA: 4.62 AC
 TREE SAVE REQUIRED/PROVIDED: 108 x 4.62 AC = 0.46 AC/0.56 AC
 ADD. LOTS FOR TREE SAVE IN COS: 0.56 (0.26) AC X 3 = 1 LOTS
 NO. OF UNITS ALLOWED/PROPOSED: 5 = 1 + 16/4
 COMMON OPEN SPACE REQUIRED: 108 x 5.22 AC = 0.52 AC
 COMMON OPEN SPACE PROVIDED: 1.40 AC = 26.6%

R-3 CLUSTER LOT DATA:
 MIN. LOT SIZE = 8,000 SF
 MIN. LOT WIDTH = 60'
 MIN. SETBACK = 20'
 MIN. SIDE YARD = 6' EXTERNAL, 5' INTERNAL
 MIN. REAR YARD = 45' EXTERNAL, 30' INTERNAL
 * TREE SAVE INCENTIVE

THE MAXIMUM BUA IS 3,800 SF PER LOT (LOTS 1-10)
 THE MAXIMUM BUA IS 4,087 SF PER LOT (LOTS 11-14)

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	BEARING
C-1	62.26	50.000	61.8'	S67°28'24"W
C-2	24.23	50.000	24.2'	S68°38'47"E
C-3	20.77	50.000	20.78'	S88°38'47"E
C-4	4.49	50.000	4.49'	S04°26'00"W



KENNEY DESIGN GROUP, PA

1216 PARSONS TRAIL
 DENVER, NORTH CAROLINA 28037
 PH: 704/377-6099
 EMAIL: KENNEY@KENNEYDESIGN.COM

Engineering
 Land Planning
 Land Surveying

Scale: 1"=40'
 Date: 1/17/18
 Drawn By: MKK
 Designed By: MKK
 Job No.: 1017

Preliminary Subdivision Site Plan

CHESEA off PROVIDENCE

City of Charlotte, Mecklenburg County, North Carolina
 SGW, LLC, 1872 India Hook Rd, Rock Hill, SC 29732

Sheet No. **1** of 10

THIS IS TO CERTIFY THAT ON THE 6TH DAY OF MARCH 20 15, I SURVEYED THE PROPERTY SHOWN ON THIS PLAT, AND THAT THE TITLE LINES AND THE WALLS OF THE BUILDING IF ANY ARE SHOWN HEREON. PLAT - NOT FOR RECORDATION.

SIGNED EARL L. LINDEBERGER
 PROFESSIONAL SURVEYOR
 EARL L. LINDEBERGER
 427 WEDGERS DRIVE
 CHARLOTTE, N. C. 28211



12

ARTHUR MAKI
 8471-119

11

JACK HUDSON
 12421-833

JAMES SHUMAN
 16289-63

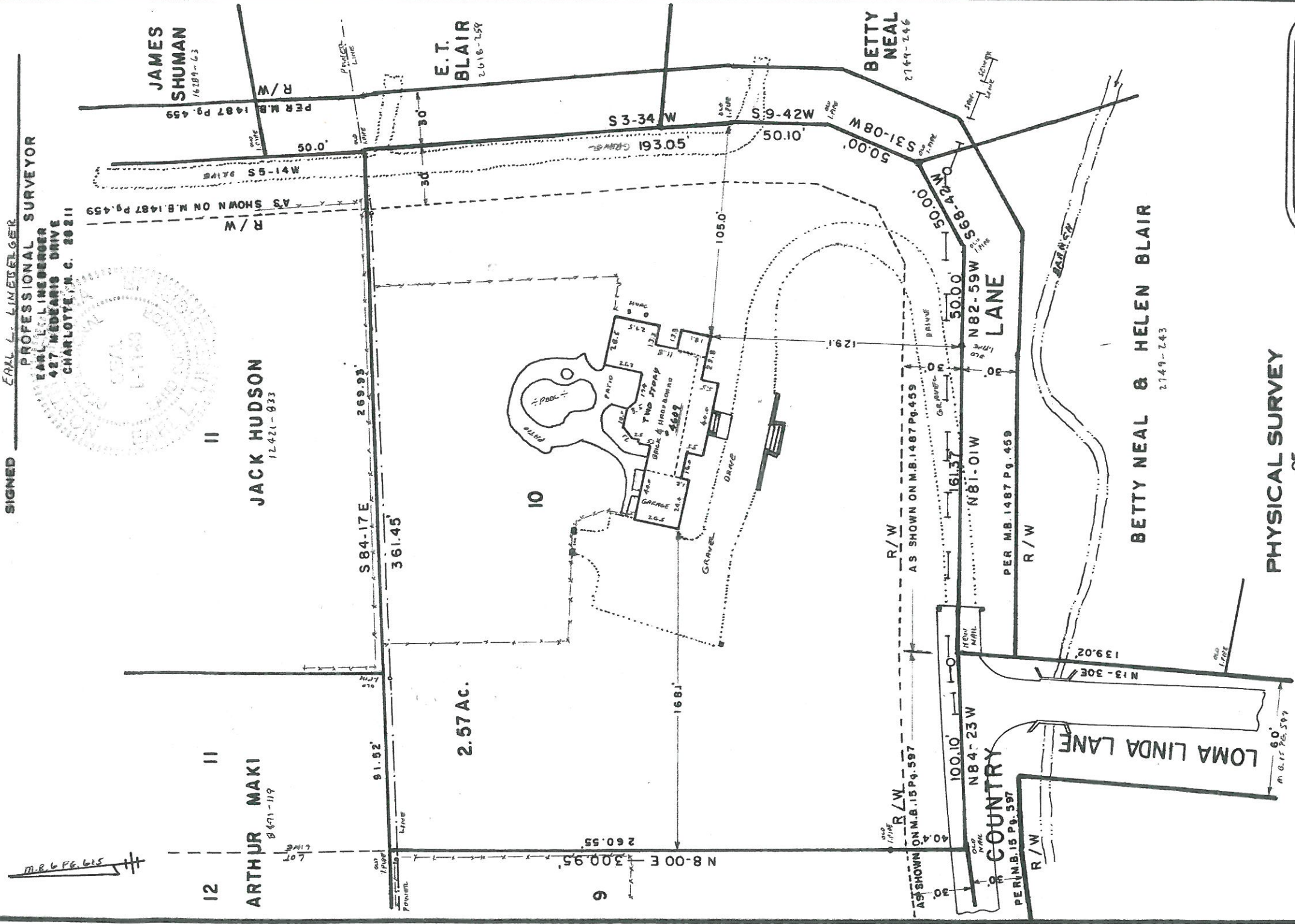
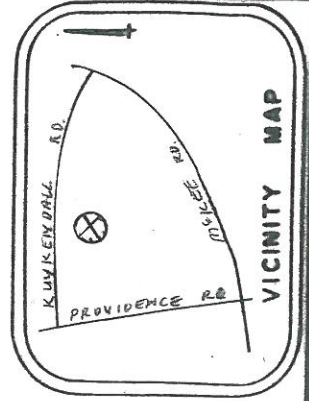
E. T. BLAIR
 2618-259

BETTY NEAL
 2749-246

BETTY NEAL & HELEN BLAIR
 2749-243

PHYSICAL SURVEY
 OF
 LOT 10
 COUNTRY COLONY
 CHARLOTTE, N.C.

THE PROPERTY OF ERIC EDWARD CRAIG & GINA DIANE CRAIG
 SCALE 1" = 60'
 MAP BOOK 6 PAGE 615
 DEED BOOK _____ PAGE _____



Flotree, Cheyenne

From: Weaver, Joshua
Sent: Friday, August 3, 2018 3:10 PM
To: Mike Kenney (mkenney@kenneydesign.com)
Subject: FW: [EXT] Chelsea off Providence - siteplan concerns
Attachments: Chelsea off Providence siteplan 7-5-2018.pdf; 4609 Country Ln_Survey 2015-03-06 (Craig purchase).pdf

Mike,

FYI I received these concerns from the Craig's

Joshua Weaver

Interim Subdivision Administrator

Charlotte Planning, Design & Development Department

City of Charlotte

600 East 4th Street, 8th Floor, Charlotte, NC 28202

D: 704.336.5720

jfweaver@charlottenc.gov

[Creating Great Places for Our Community](#)



From: Craig, Gina [mailto:gina.craig@nuveen.com]
Sent: Tuesday, July 31, 2018 3:46 PM
To: Frye, Shannon; Weaver, Joshua
Cc: Eric Craig (gandecraig@mac.com); Kenneth Davies (kdavies@kdavies.com)
Subject: [EXT] Chelsea off Providence - siteplan concerns

EXTERNAL EMAIL: This email originated from the Internet. Do not click any images, links or open any attachments unless you recognize and trust the sender and know the content is safe.

Hi Shannon and Josh,

We have a few concerns about a set of plans recently submitted for review. Our concerns stem from our position as adjacent land owners to the proposed development. We are communicating these items so they can be considered during the review process.

Regarding: Chelsea Off Providence development. Please refer to attached siteplan.

1. **Private drive.** During our previous discussions with the developer, Greg Whitehead, he stated that he was considering putting in a private driveway, generally speaking, from near the intersection of Country Lane and Loma Linda Lane. We do not see a private drive noted on the submitted plans, so we are not exactly sure what is intended. However, we are concerned that such a private drive could interfere with the tree save area and undisturbed natural area as noted on the siteplan, and possibly have impacts to the watershed area around the creek running through this part of the property.
2. **Property line location.** Also during our previous discussions with Greg Whitehead, there was a disagreement around the physical location of the property line between our lot (particularly on the eastern side) and the lots included in the proposed development. For reference, I have attached a copy of our survey, performed by Earl Lineberger, showing the property line location. At the time of the previous disagreement, Mr. Whitehead's draft sketch plan had the property line and R/W as shown on M.B. 1487, Pg. 459 located further to the west, resulting in encroachment on our lot. We believe this disagreement was resolved, but if the siteplan results in the utilization of lot or R/W boundaries farther west compared to the attached survey, this would be a great concern to us because it would result in an encroachment on our lot.
3. **Blasting rock.** We are concerned about the monitoring and restrictions around using explosives or other blasting methods to remove ground rock. During a separate development that occurred adjacent to our property, the Providence Retreat Phase II development, the blasting caused notable tremors within our house. We are concerned that nearby blasting for the potential development of Chelsea Off Providence could cause further tremors and potentially damage our foundation or other structural aspects of our home. We would like to know what guidelines are in place to oversee blasting activity, particularly in a residential area, and would like to understand if there are specific resources in the city planning department to help us navigate potential complications associated with any blasting activities.

Thank you for the time you have spent with us throughout this process.

I'll point out that I have copied Ken Davies on this message. He is our attorney for a matter we filed related to our property. I think you are aware of this matter.

If you have any questions, please let us know.

Thank you,
Gina and Eric Craig

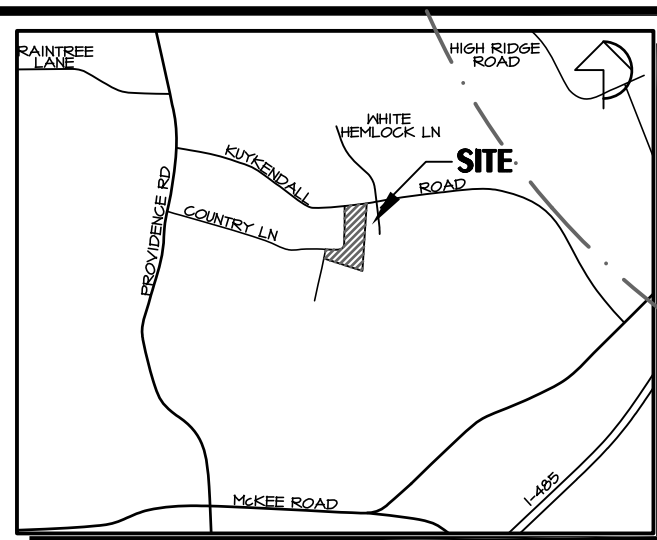
GINA CRAIG
VP | Director of Compensation and Equity Plan Accounting | Finance

gina.craig@nuveen.com
office/mobile: 704.988.3323

Nuveen
8625 Andrew Carnegie Blvd. | 3rd Floor | E3-S3-13
Charlotte, NC 28262
nuveen.com

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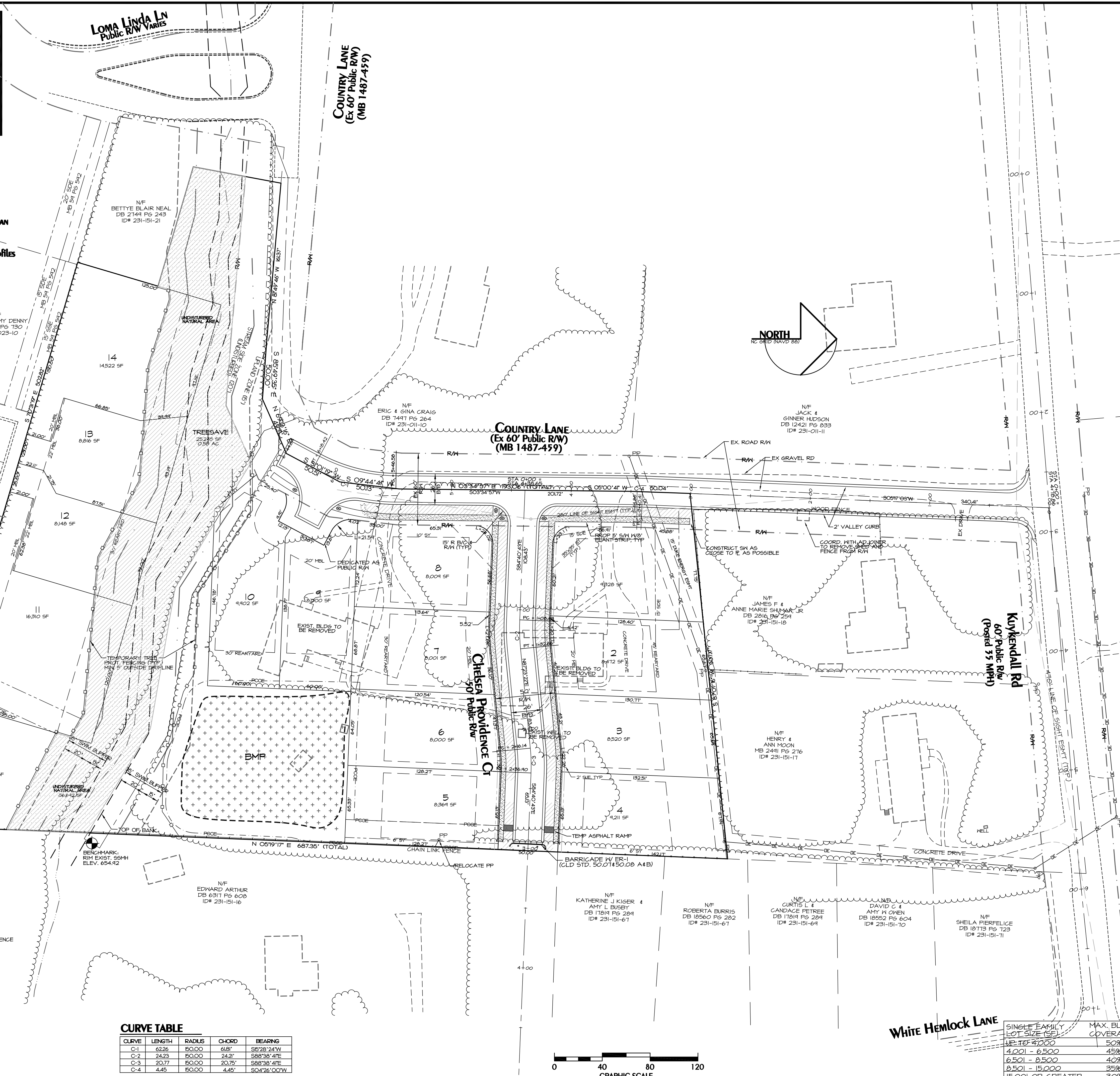
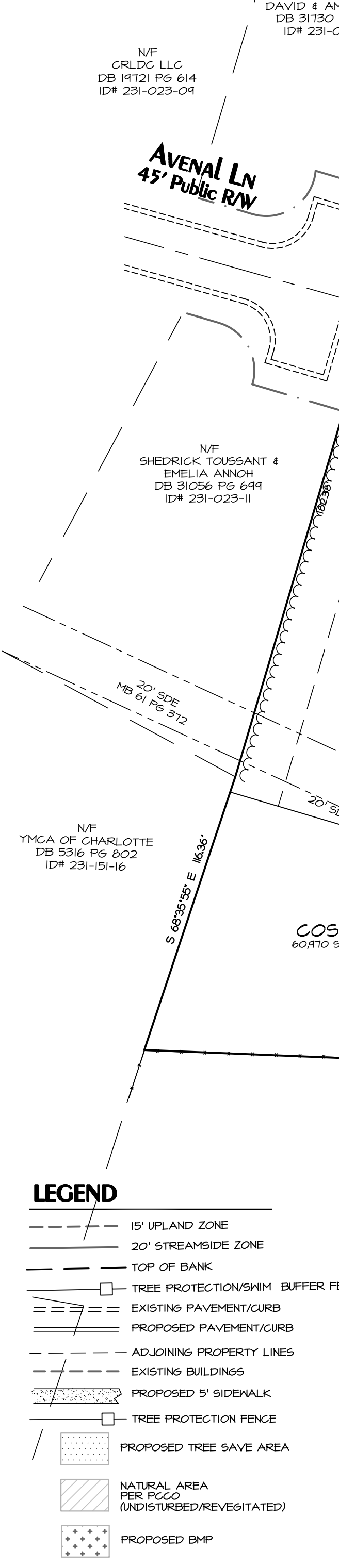
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VICINITY MAP NTS

SHEET INDEX

- | SHEET No. | SHEET Title |
|-----------|---|
| 1 | Preliminary Subdivision Site |
| 2 | Landscape Plan |
| 3 | Storm Drainage and Grading Plan |
| 4 | Erosion Control Plan (Pre) |
| 5 | Erosion Control Plan (Post) |
| 6 | Roadway & Storm Drainage Profiles & Site Construction Details |
| 7 | Site Construction Details |
| 8 | Drainage Area Map |
| 9 | BMP Detail Sheet |
| 10 | 100+1 X-SECTS |



CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	BEARING
C-1	62.26	50.000	61.81'	S67°28'24"W
C-2	24.23	50.000	24.21'	S68°38'47"E
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C-4	4.45	50.000	4.45'	S04°26'00"W



GENERAL NOTES

THIS PRELIMINARY SUBDIVISION PLAN IS SUBMITTED, AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CHARLOTTE ZONING AND SUBDIVISION ORDINANCES, AND THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL. BOUNDARY SURVEY INFORMATION PER SURVEY PREPARED BY JAMES MAINY & ASSOCIATES TOPOGRAPHIC INFORMATION TAKEN FROM PHOTOGRAMMETRIC MAPPING BY CITY OF CHARLOTTE CHIEF SUBDIVISION INSPECTOR SHALL BE GIVEN 48 HOURS ADVANCE NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION. LOT DIMENSIONS ARE APPROXIMATE, REFERENCE RECORD PLAT FOR EXACT LOT DIMENSIONS. ALL STORM DRAINAGE PIPE SHALL BE CLASS 3 REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED. PIPE LENGTHS INDICATED ON THE PLANS ARE APPROXIMATE AND ARE SUBJECT TO CHANGE DUE TO FIELD CONDITIONS. REFERENCE SHEETS 1 & 3 FOR EROSION CONTROL PLAN AND NOTES. REFERENCE SHEET 7 FOR EROSION CONTROL DETAILS. CONSTRUCTION OF ALL DEVELOPMENT IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL. REFERENCE SHEET 7 FOR SITE DETAILS. THE FOLLOWING ADDITIONAL DETAILS ARE INCLUDED BY REFERENCE:

ITEM	CLD/NOTED STD. NO.
CURB AND GUTTER	10.17
CURB TRANSITION	10.19
CATCH BASIN LOCATION	10.21 & 10.30
(G) BRICK CATCH BASIN	04.01 & 04.02
(DC) DOUBLE CATCH BASIN	20.03 & 20.04
STREET NAME SIGN	50.29
CONCRETE MONUMENT	50.23
SIDEWALK	10.22

APPROXIMATE COMPLETION TIME IS FALL 2018. WATER AND SANITARY SEWER SERVICE SHALL BE PROVIDED BY EXTENSION OF THE EXISTING CHARLOTTE-MECKLENBURG UTILITY SYSTEM. SIDEWALK NOTE: THE CONTRACTOR SHALL COORDINATE WITH THE SUBDIVISION INSPECTOR FOR LATEST REVISION OF HANDICAP RAMP DETAILS) PRIOR TO PLACEMENT OF ANY HC RAMP AND/OR SIDEWALK. COORDINATE ALL CURB AND STREET GRADINGS IN INTERSECTION WITH INSPECTOR. ALL ROAD IMPROVEMENTS AT COUNTRY LANE ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENG. DEPARTMENT 4 NCDOT PRIOR TO CONSTRUCTION. DEVELOPER WILL PROVIDE STREET SIGNING PER CLD/NOTED STD. R-3 (SIGN ONLY) SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.2% SLOPE ON THE CURB. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR. CURB AND GUTTER SHOWN ON PLANS ALONG COUNTRY LANE MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS. THE PURPOSE OF THE STORM DRAINAGE SYSTEM IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPED STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED. HIGH-DENSITY FOOTING FOR STORM DRAINAGE PIPES INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY. THE DEVELOPER SHALL MAINTAIN STREAM GREEK OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TWIGS, JUNK AND OTHER ACCUMULATIONS. AS-BUILT DRAWINGS AND PLANS OF STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DETAILINGS, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE. ANY BUILDING WITHIN THE 100' SETBACK ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE CITY OF CHARLOTTE/MECKLENBURG COUNTY SUBDIVISION ORDINANCE SECTION 12.02A. ANY CONSTRUCTION OR USE WITHIN THE 100' SETBACK ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY. ALL OPENINGS (E.G. DOORS, WINDOWS, VENTS) IN STRUCTURES BUILT ON LOT 5 SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100' FLOOD ANALYSIS). PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION. PRIOR TO INSTALLATION PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO CITY OF CHARLOTTE ENGINEERING FOR APPROVAL. PRIOR TO CO. SURVEYOR SEALED AS-BUILT DRAWINGS OF ALL WATER QUALITY BMP'S AND DETENTION SYSTEMS MUST BE PROVIDED. PRIOR TO PLANT RELOCATION, OFF-SITE RUN AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFF-SITE RUN ACQUISITION PROCESS". THESE NEEDED RUN AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN. PER SECTION 14.1.1(b) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREA AND/OR TRAFFIC CONTROL CONTROLS EASEMENTS (PCES) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GIS, JORDI, 104-336-1086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. 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SITE AREA: 5.22 AC
NO. OF UNITS ALLOWED/PROPOSED: 5.22 x 3 = 15
AREA IN EASEMENTS/R/W: 0.60 AC
NET TOTAL SITE AREA: 4.62 AC
TREE SAVE REQUIRED/PROVIDED: 108 x 4.62 AC = 0.46 AC/0.58 AC
ADD. LOTS FOR TREE SAVE IN COS: 0.58 (0.26) AC x 3 = 1 LOTS
NO. OF UNITS ALLOWED/PROPOSED: 15 = 16/4
COMMON OPEN SPACE REQUIRED: 108 x 5.22 AC = 0.52 AC
COMMON OPEN SPACE PROVIDED: 1.40 AC = 26.8%

R-3 CLUSTER LOT DATA:
MIN. LOT SIZE = 8,000 SF
MIN. LOT WIDTH = 60'
MIN. SETBACK = 20'
MIN. SIDE YARD = 6' EXTERNAL, 5' INTERNAL
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* TREE SAVE INCENTIVE

THE MAXIMUM BUA IS 3,800 SF PER LOT (LOTS 1-10)
THE MAXIMUM BUA IS 4,087 SF PER LOT (LOTS 11-14)

White Hemlock Lane

SINGLE FAMILY LOT SIZE (SF)	MAX. BLDG COVERAGE
UP TO 3,000	50%
4,001 - 6,500	45%
6,501 - 8,500	40%
8,501 - 15,000	35%
15,001 OR GREATER	30%

KENNEY DESIGN GROUP, PA

1216 PARSONS TRAIL
DENVER, NORTH CAROLINA 28037
PH: 704/377-6099
EMAIL: KENNEY@KENNEYDESIGN.COM

Engineering
Land Planning
Land Surveying

Scale: 1"=40'
Date: 1/17/18
Drawn By: MKK
Designed By: MKK
Job No.: 1017

Preliminary Subdivision Site Plan
CHESEA off PROVIDENCE
City of Charlotte, Mecklenburg County, North Carolina
SGW, LLC, 1872 India Hook Rd, Rock Hill, SC 29732

Sheet No. **1** of 10

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SIGNED EARL L. LINDEBERGER
 PROFESSIONAL SURVEYOR
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 CHARLOTTE, N. C. 28211



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 8471-119

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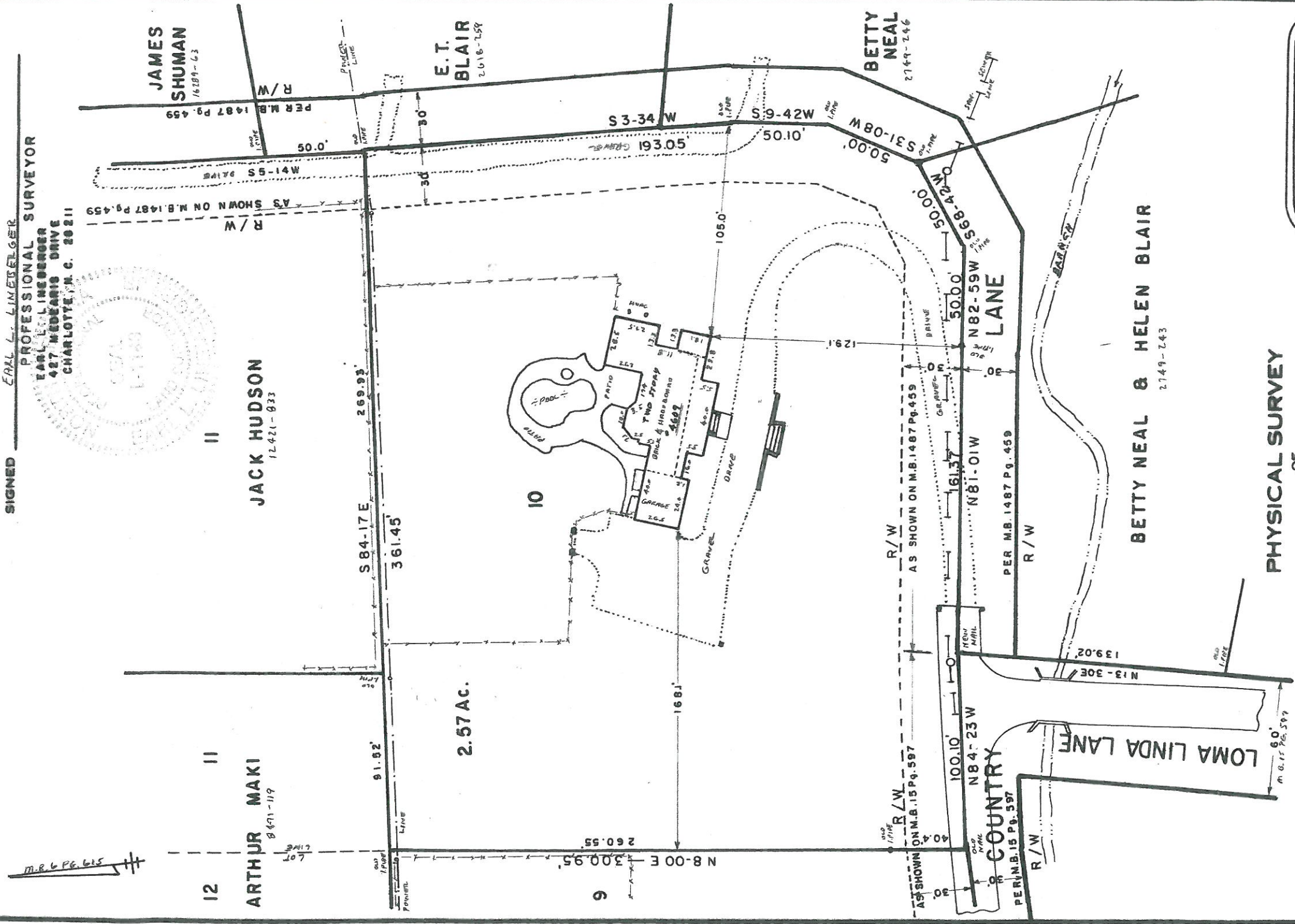
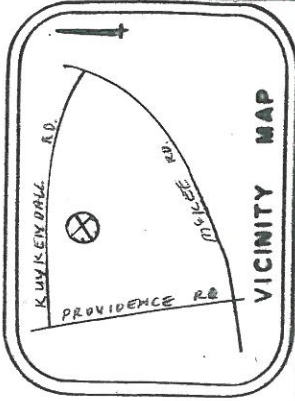
BETTY NEAL
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BETTY NEAL & HELEN BLAIR
 2749-243

PHYSICAL SURVEY
 OF
 LOT 10
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THE PROPERTY OF ERIC EDWARD CRAIG & GINA DIANE CRAIG

SCALE 1" = 60'
 MAP BOOK 6 PAGE 615
 DEED BOOK _____ PAGE _____



Flotree, Cheyenne

From: Frixen, Jennifer
Sent: Tuesday, August 21, 2018 12:13 PM
To: Weaver, Joshua
Subject: FW: [EXT] FW: 4600 Country Ln Plat -00271

Importance: High

[Help.](#)

From: Greg Whitehead [mailto:greg@cornerstonedevelopment.net]
Sent: Monday, August 20, 2018 5:49 PM
To: Frixen, Jennifer
Subject: [EXT] FW: 4600 County Ln Plat -00271

EXTERNAL EMAIL: This email originated from the Internet. Do not click any images, links or open any attachments unless you recognize and trust the sender and know the content is safe.

Jennifer

I hope all is well. I am writing in regards to the recombination plat that is subject to the email below. To my knowledge we have not heard from anyone regarding the recording of the plat. I am purchasing the property from a seller that is represented by legal counsel. The attorney for the seller has indicated that I am stalling the closing by not getting the recombination plat recorded. Likewise, I spoke with Mike Kenny who said that the recombination plat is permitted by state statute and may not even require a stamp. I read the statute and agree with the interpretation. Our entire plan evolves around the recombination plat.

I need an acceptance of the plat or an office rejection with specific language as to why it is being rejected. I am being forced by the seller to pursue this up the chain. I am hoping that the attorney will stay out of it at least until I get an official answer.

I apologize in advance as it does appear to the seller that I am stalling. They frankly don't believe that city would sit on a stamp to a recombination plat from July 24th.

Please advise ---- We are available anytime for a meeting. That notwithstanding, I need a written answer while we are awaiting a meeting time.

From: Frixen, Jennifer <jfrixen@ci.charlotte.nc.us>
Sent: Tuesday, July 24, 2018 9:08 AM
To: Chris Faulk <cfaulk@metroesa.com>
Subject: 4600 County Ln Plat -00271

Chris,

I talked to Josh about this one yesterday and he said he'd give you a call to discuss the status of this plat and the subdivision plan that's currently in for review with this lot/these lots in question. From my understanding, the recombination plat cannot be approved as a NST and both of these lots are subject to the ordinance per the plan in for review. He can better explain the status of this if you'd like to reach out to him: 704-336-5720 or jfweaver@charlottenc.gov.

If you'd like to withdraw the plat and request a refund, let me know.

Thanks,

Jennifer Frixen

Associate Planner, Subdivision Services

Charlotte Planning, Design & Development

City of Charlotte

600 E. Fourth Street, 8th Floor, Charlotte, NC 28202

D: 704-336-8328 | M: 704-336-2205

jfrixen@charlottenc.gov

Creating Great Places for Our Community

Flotree, Cheyenne

From: Frye, Shannon
Sent: Wednesday, May 16, 2018 11:09 AM
To: Weaver, Joshua
Subject: FW: [EXT] Meeting request RE: Country Lane Development

Josh:

Please schedule a meeting for us with Carolyn to confirm a path forward for City (Planning & CDOT).

Thanks so much!

From: Craig, Eric E [mailto:Eric.Craig@tiaa.org]
Sent: Thursday, May 10, 2018 10:14 AM
To: Frye, Shannon; Craig, Gina
Subject: RE: [EXT] Meeting request RE: Country Lane Development

EXTERNAL EMAIL: This email originated from the Internet. Do not click any images, links or open any attachments unless you recognize and trust the sender and know the content is safe.

Shannon – We appreciate your apology and look forward to the discussion. Gina and I can be available on the 24th or 25th with advanced notice.

Please let us know if share you can share the issues that have arisen to ensure they are the ones we are aware of and so we can be prepared for the discussion.

Thanks again!

Eric Craig
AML Officer TIAA Life & CREF
Senior Director | AML Governance | Advocacy & Oversight
TIAA | Financial Services
704-988-8008 (Office)
eric.craig@tiaa.org

From: Frye, Shannon [mailto:swfrye@ci.charlotte.nc.us]
Sent: Thursday, May 10, 2018 10:04 AM
To: Craig, Gina
Cc: Craig, Eric E
Subject: RE: [EXT] Meeting request RE: Country Lane Development

Good Morning.

Gina & Eric, I sincerely apologize any delay and for not responding directly to you. I have been briefed by other City employees of issues that have arisen with this proposed development and admittedly do not know of any resolve.

With this said, I am requesting time to meet with other staff members (CDOT, City Attorney, and Planning staff). I would like to request that you email me availability you may have the week of 5/21 and I can calendar a meeting.

Best Regards,

Shannon Frye | Subdivision Administrator

Charlotte Planning Department | Subdivision Administration

600 East 4th Street, 8th Floor, Charlotte, NC 28202

D: 704.336.8322 M: 704.654.8870

Creating Great Places for Our Community

From: Craig, Gina [mailto:gina.craig@nuveen.com]
Sent: Tuesday, May 08, 2018 9:45 PM
To: Frye, Shannon
Cc: Craig, Eric E
Subject: [EXT] Meeting request RE: Country Lane Development

EXTERNAL EMAIL: This email originated from the Internet. Do not click any images, links or open any attachments unless you recognize and trust the sender and know the content is safe.

Shannon – As a follow up to the multiple e-mails and voice mails we have sent to you that have not been returned, we would like to set up time to discuss our situation as it relates to the development being proposed by Greg Whitehead on Country Lane (Chelsea off Providence).

We have been in disagreement with Mr. Whitehead’s interpretation of the location of our property line along Country Ln (off Kuykendall Rd) and the right of way being located mostly on our side of this property line. Per Greg, he is submitting plans to the city for review/approval that include opening the Country Lane right of way, and rather than having the new proposed road split 50/50 along the property line, he is proposing to use more land on our side of the center line to an extent beyond what our property records show is even part of the right of way.

Additionally, he is threatening a private drive through our frontage on Country Lane near the Loma Linda Ln intersection for access to his new proposed development, claiming that he does not need a permit for it, as opposed to a public street that would require permitting and City approval. This approach could in effect cause the “Private Drive” to be used a cut through from Providence to Kuykendall road with the same traffic flow as if it were opened. Similarly, he has stated that he intends to use this space for access to construct his development. This is of great concern to us, and would also appear to adversely impact the neighboring watershed buffer area per our environmental impact survey. We could like to discuss for clarity from the City’s perspective whether his claims are valid that he can improve the right of way with a private drive without obtaining City approval or permitting.

As we believe you have been in communication with Mr. Whitehead (based on his comments to us), and he states that once the City approves the plans we have no recourse, we would appreciate the opportunity to further discuss our position to avoid further legal actions on both sides.

Lastly, and this may or may not be important to your office, he has also claimed that a fence we have built on our property impedes access to the land he intends to purchase. This is not true. While the fence does cross the existing gravel path, which is located on our side of the property line on Country Lane and has in the past been used by residents of the now vacant houses, there is still room to the north side of our fence and along and the east side (side he intends

to purchase) of the property line allowing access those lots. Further, we understand that if the right of way is approved to be opened in the future, we would need to remove or relocate our fence as to not interfere with any approved plans for opening the road. However, at this time, the right of way has not been opened, so we are unclear regarding the basis under which Mr. Whitehead opposes our fence.

We would appreciate if you would kindly let us know your upcoming availability for a discussion on these topics as soon as possible to avoid further escalation, and that going forward, our communications are not shared with Mr. Whitehead.

[After drafting this message today, we received some new information through Mr. Whitehead's attorney, that he is further revising his sketch plans with indication that some of our previous discrepancies with him may be addressed in the new drawing. However, we still wanted to communicate to you these ongoing concerns described above that are still outstanding in our mind until such new plans are submitted. Further, we would still like to meet with you to discuss the status of this project, which has potential to greatly impact our home and property.]

Thank you,
Eric and Gina Craig

Eric 704.607.8294 | Gina 704.287.0391

This e-mail may contain confidential or privileged information.
If you are not the intended recipient, please notify the sender immediately and then delete it.

TIAA

Flotree, Cheyenne

From: Weaver, Joshua
Sent: Tuesday, April 23, 2019 11:18 AM
To: Montgomery, Sandra
Subject: FW: 4720 Country Ln. 3 lot plat/map. House remains in lot 2

From: Jim DeMare [mailto:jimdemare@yahoo.com]
Sent: Monday, May 18, 2015 9:14 AM
To: Weaver, Joshua <jfweaver@ci.charlotte.nc.us>
Subject: 4720 Country Ln. 3 lot plat/map. House remains in lot 2

Good Morning

I decided not to be the first face you would see coming out of elevator.
Chris Faulk said last week he did send you a revised 3 lot plat that showed lot 2 is where the existing home is to remain.

My question is by 05/20/2015 if what was submitted to you was complete and it meets the zoning ordinance I guess that how I refer to it. You will say Happy Birthday Jim and sign off

Is this assumption correct

Thank you for your time

Jim

Sent from my iPhone

Flotree, Cheyenne

From: Greg Whitehead <greg@cornerstonedevelopment.net>
Sent: Friday, January 19, 2018 1:13 PM
To: Weaver, Joshua
Subject: FW: Country Lane
Attachments: countrylane11918.pdf

Josh

I need your input on the country lane project.

The Craig family has expressed concerns regarding how Country Lane may be developed now or in the future. Their home is located at a point where Country Lane borders the front and side of their home. These two portions of Country Lane do not connect.

There was a plan submittal for the property I am developing prior to the down turn. The prior property owner met with the city and city officials confirmed that the roadway would not be connected. That homeowner presented this information to the Craig family and the Craig family purchased their home. Country Lane (ex 60' public R/W MB 1487 459). 4609 COUNTRY LN (2) CHARLOTTE NC 28270. Parcel ID 23101110

Although, we may not be able to give them an absolute confirmation that a cut through road would never be developed, I would like to provide him sufficient information so that he can conclude that the hypothetical connection is highly unlikely and/or impossible.

I am providing confirmation that my project would not connect to the south side of Country Lane in front of your home. I am providing Mr. Craig with a copy of what was submitted to the city.

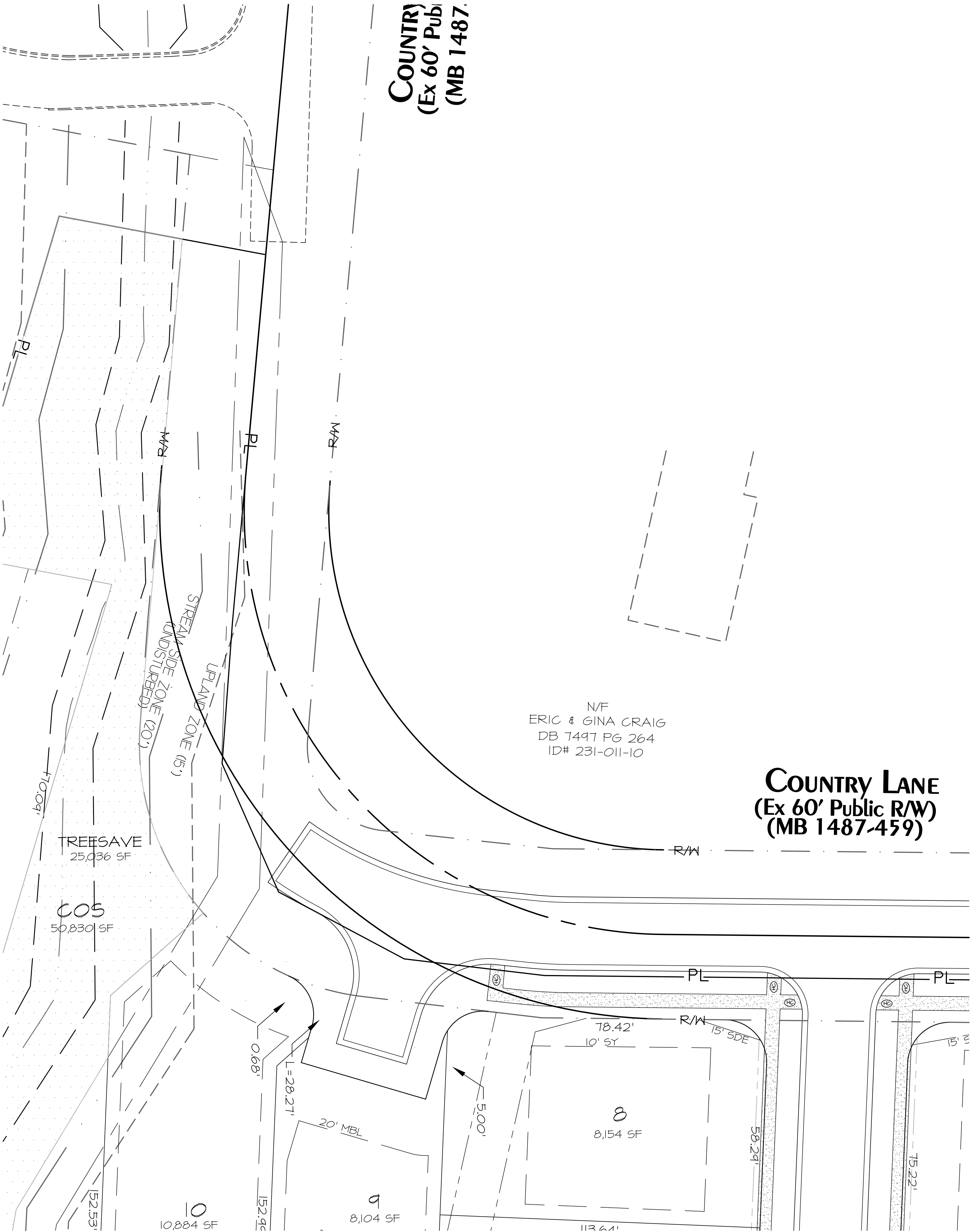
- 1) Please confirm that you have received sketch plan approval for the plan and that plans don't make the connection.
- 2) I have forwarded you confirmation that the city received the plan submittal and match up with the sketch plan – a demonstration that we intend to build a roadway that corresponds with the Craig's request.
- 3) The existing ROW cannot accommodate a hypothetical roadway as there is insufficient ROW to meet the city's design standards. Likewise, the roadway would need to have a 150' radius turn which would encroach into the yard of the Craig's homesite. As we discussed, the minimum radius is 150'. I think the attached demonstrates that in order to connect the two sides of country lane, you would need to purchase more land from the Craig family.

Can you please confirm receipt of the three exhibits above so we can ease the Craig Family's concerns.

COUNTRY
(Ex 60' Pub
(MB 1487.

N/F
ERIC & GINA CRAIG
DB 7497 PG 264
ID# 231-011-10

COUNTRY LANE
(Ex 60' Public R/W)
(MB 1487-459)



FW: Country Lane



Johnson, Carolyn on behalf of Weaver, Joshua

Required Cuberson, Dana; Weaver, Joshua; Frye, Shannon; Johnson, Carolyn

As the meeting organizer, you do not need to respond to the meeting.

No Response Required



Wed 5/16/2018 12:25 PM

Thursday, May 17, 2018 3:00 PM-3:30 PM Shared - Conf Rm 801, CMGC, 600 E 4th St, 8th Fl

Hi Dana, forwarding this on to your attention since you followed up with Jeff earlier about this matter. Let me know if you need me to be involved from here. Thanks.

-----Original Appointment-----

From: Weaver, Joshua

Sent: Wednesday, May 16, 2018 12:22 PM

To: Weaver, Joshua; Frye, Shannon; Johnson, Carolyn

Subject: Country Lane

When: Thursday, May 17, 2018 3:00 PM-3:30 PM (UTC-05:00) Eastern Time (US & Canada).

Where: Shared - Conf Rm 801, CMGC, 600 E 4th St, 8th Fl



FW: [EXT]
Meeting request...

Flotree, Cheyenne

From: Weaver, Joshua
Sent: Thursday, February 1, 2018 4:51 PM
To: 'Frye, Shannon'
Subject: FW: Country Lane
Attachments: countrylane11918.pdf

From: Greg Whitehead [mailto:greg@cornerstonedevelopment.net]
Sent: Friday, January 19, 2018 1:13 PM
To: Weaver, Joshua
Subject: FW: Country Lane

Josh
I need your input on the country lane project.

The Craig family has expressed concerns regarding how Country Lane may be developed now or in the future. Their home is located at a point where Country Lane borders the front and side of their home. These two portions of Country Lane do not connect.

There was a plan submittal for the property I am developing prior to the down turn. The prior property owner met with the city and city officials confirmed that the roadway would not be connected. That homeowner presented this information to the Craig family and the Craig family purchased their home. Country Lane (ex 60' public R/W MB 1487 459). 4609 COUNTRY LN (2) CHARLOTTE NC 28270. Parcel ID 23101110

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I am providing confirmation that my project would not connect to the south side of Country Lane in front of your home. I am providing Mr. Craig with a copy of what was submitted to the city.

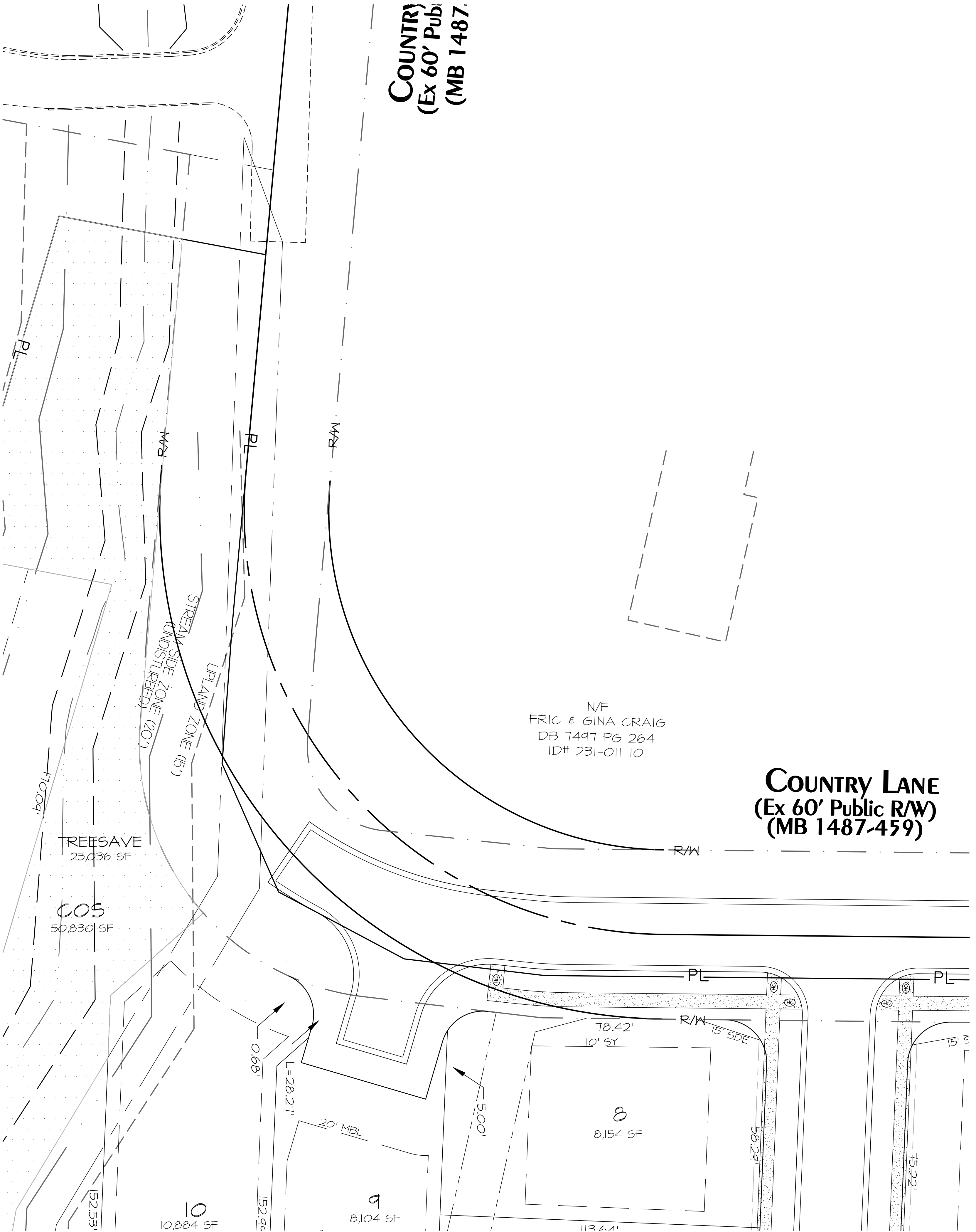
1. Please confirm that you have received sketch plan approval for the plan and that plans don't make the connection.
2. I have forwarded you confirmation that the city received the plan submittal and match up with the sketch plan – a demonstration that we intend to build a roadway that corresponds with the Craig's request.
3. The existing ROW cannot accommodate a hypothetical roadway as there is insufficient ROW to meet the city's design standards. Likewise, the roadway would need to have a 150' radius turn which would encroach into the yard of the Craig's homesite. As we discussed, the minimum radius is 150'. I think the attached demonstrates that in order to connect the two sides of country lane, you would need to purchase more land from the Craig family.

Can you please confirm receipt of the three exhibits above so we can ease the Craig Family's concerns.

COUNTRY
(Ex 60' Pub
(MB 1487.

N/F
ERIC & GINA CRAIG
DB 7497 PG 264
ID# 231-011-10

COUNTRY LANE
(Ex 60' Public R/W)
(MB 1487-459)



Flotree, Cheyenne

From: Weaver, Joshua
Sent: Tuesday, April 23, 2019 11:25 AM
To: Montgomery, Sandra
Subject: FW: Country Ln and Blakeney Heath comments
Attachments: 2013-11-04 Country Lane Site Plan_Comments.pdf; Blakeney Heath Sketch Plan_Comments.pdf

From: Weaver, Joshua
Sent: Monday, December 02, 2013 4:06 PM
To: Reddick, Rob (reddick@mcadamsco.com) <reddick@mcadamsco.com>
Subject: Country Ln and Blakeney Heath comments

Here are the comments for these two sketches.

Have a good day,

Joshua F. Weaver
PRINCIPAL PLANNER

CHARLOTTE MECKLENBURG PLANNING DEPARTMENT

PH: 704.336.5720
jfweaver@charlottenc.gov
www.charlottenc.gov

Regarding allowable encroachments into the WQ/SWIM buffers:
 12. Road crossings and bridges. If site plan approval is granted by the Planning Department, then road crossings and bridges for connectivity or transportation links (not including driveways) are exempt from the buffer requirements.
 13. Storm water best management practices (BMPs). BMPs are allowed in the upland and managed use zones but not in the stream side zone. The discharge and all energy dissipation devices associated with the BMP must end prior to the stream side zone.
 All disturbed areas must be stabilized and seeded within seven (7) days following project completion to minimize negative water quality impacts. Grasses and other herbaceous groundcovers are allowed. The natural contour of the land should be maintained.

Show all on and offsite existing storm drainage. There appears to be a crosspipe here, and a driveway pipe for previous ex. house onsite.

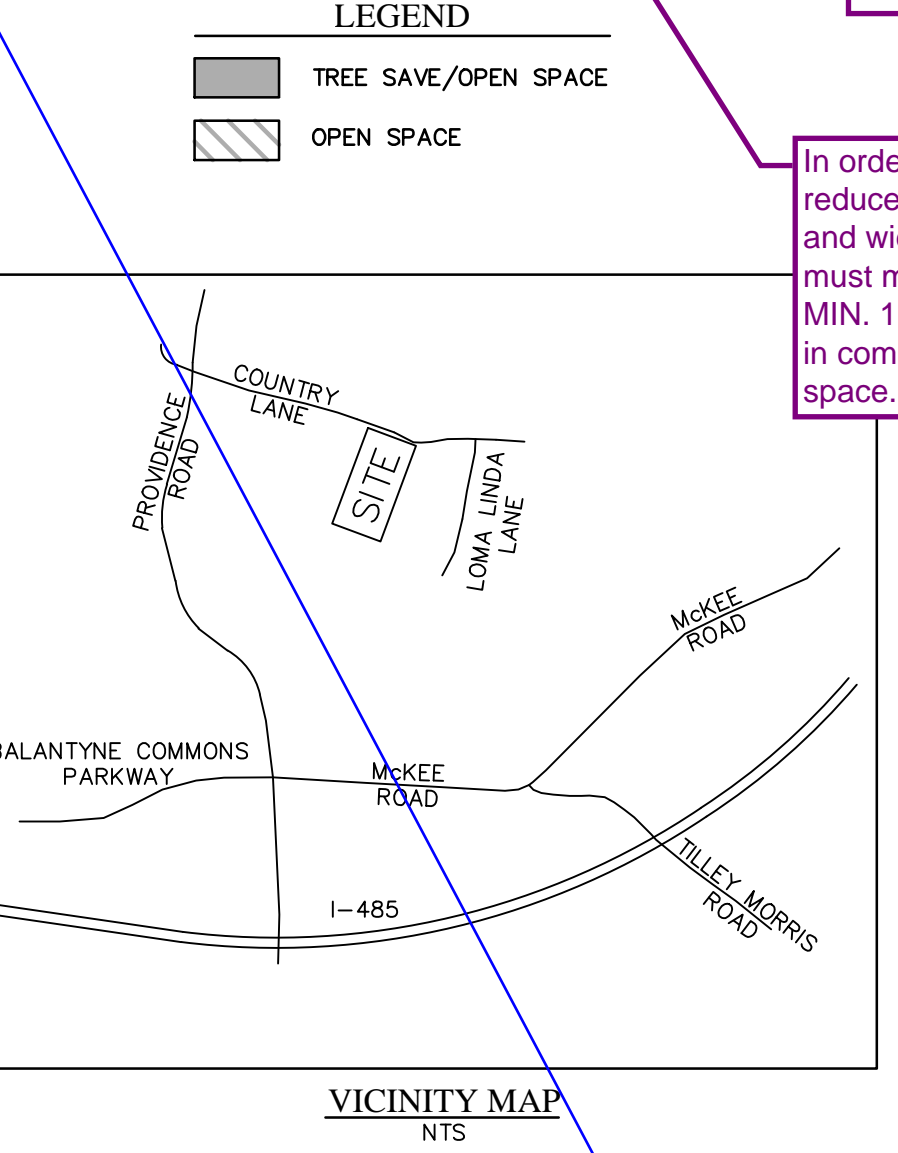
Show sight distance

The radii should not be offset

Country Ln is a local street
 Per subdivision ordinance section 20-52, requirements for street improvements include -- for Local streets:
 a. Right-of-way: Entire right-of-way width dedicated (half of right-of-way located on each side of the centerline), except where a half street has been approved by city staff.
 b. All streets must be constructed to meet applicable city requirements. Standard detail drawings are available in the Charlotte Land Development Standards Manual. Public improvements will be made in accordance with adopted plans, programs and budgets.

Please include detailed cross-sections every 50 feet minimum along Country Lane illustrating the construction of the sidewalk, planting strip, curb&gutter, and asphalt street. Follow X-sec guidelines available at <http://charmeck.org/development/Documents/Info/Cross%20Section%20Guidelines.pdf>

TAX PARCEL #	23102123	ACREAGE	6.0 ACRES
EXISTING ZONING:	R-3		
PROPOSED ZONING:	R-3 (CLUSTER)		
ALLOWED DENSITY:	3.0 UNITS/ACRE		
PROPOSED DENSITY:	2.66 UNITS/ACRE		
MINIMUM LOT WIDTH:	60 FEET		
MINIMUM LOT AREAS:	8,000 SF		
FRONT SETBACK:	30 FEET		
SIDE YARD:	6 FEET		
REAR YARD:	30 FEET		
PROPOSED RIGHT OF WAY AREA	38,616 SF (0.89AC)		
REQUIRED MINIMUM OPEN SPACE (%)	10% (0.6 ACRES)		
PROVIDED OPEN SPACE:	10%		
REQUIRED MINIMUM TREE SAVE (%)	10% (0.51 ACRES)		
PROVIDED TREE SAVE:	10%		
MAXIMUM BUILDING HEIGHT:	40 FEET		



LEGEND
 TREE SAVE/OPEN SPACE
 OPEN SPACE

1. Show large maturing trees on 40-50' spacing within 20' of curb on landscape plans.
2. Show CMLDS Detail 40.01 and Detail 40.09 on plans.
3. All tree save areas to be staked in the field for verification.
4. All open areas in tree saves to have extra large maturing trees planted.
5. Add landscape notes.

The front setback for R-3 is 42' from back of curb

The rear yard for exterior lots is 45'

In order to use the reduced lot size and width you must maintain a MIN. 10% treesave in common open space.

Show and Label the SWIM buffer and delineate top of bank and all buffer zones. be sure the Stream side zone is labeled undisturbed.

include culvert crossing design per CLDSM 10.36

design / adjust storm outfall into site.

Wetland delineation and 401/404 permits

Show total impact (SF) of disturbance to WQ buffer.

50' SWIM buffer per GIS

Please ensure BMP surrounded by Post-Construction Controls Easement (PCCE)

Verify BMP type achieves standards of PCO - 85% TSS, 1yr 24hr Vol Control, and 10/25yr peak control.

Ensure outlet from BMP has energy dissipator (rip rap apron) that is outside SWIM Buffer, is at 0% slope, and is pulled back from the property line as much as possible.

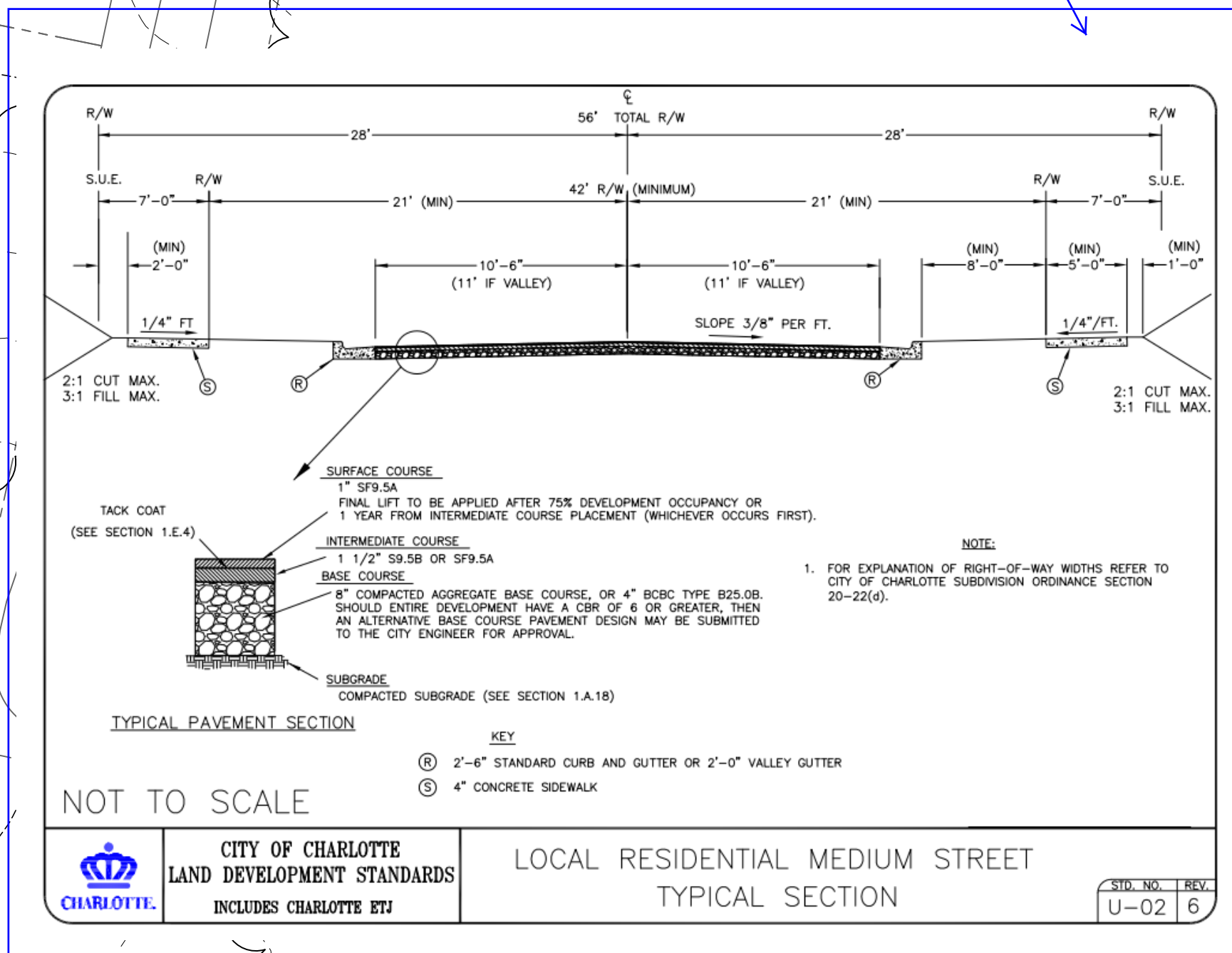
Please also show req'd / provided Natural Area (treed areas) per PCO.

Please ensure all BUA from subdivision is directed to SWM BMP, including back halves of these homes.

Clearly show and label SWIM / WQ buffer. 35' buffer here

Reference/use CLDSM U-02

Please be sure to provide an acceptable street name with the plan submittal.

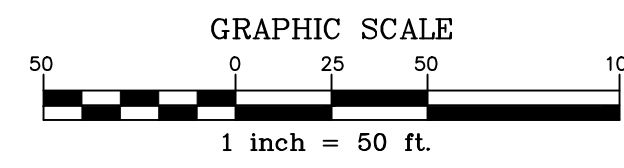


Sidewalk OK as shown, but per current CLDSM detail, sidewalk is not required around end of C-D-S bulb - you can end it with accessible ramps at the throat of the CDS.

where sidewalk goes outside ROW, show a Sidewalk & Utility Easement (SUE) 2' off back of sidewalk.

Please include Post-Construction Ordinance Summary Table, completed with data about site.

Please include on the site plan and stormwater management plan the Max. Built-upon-area per lot allowed per design.



THE JOHN R. MCADAMS COMPANY, INC.
 11801 Carmel Commons Blvd.
 Suite 111
 Charlotte, North Carolina 28226
 License No.: C-006592
 (800) 733-5646 • McAdamsCo.com



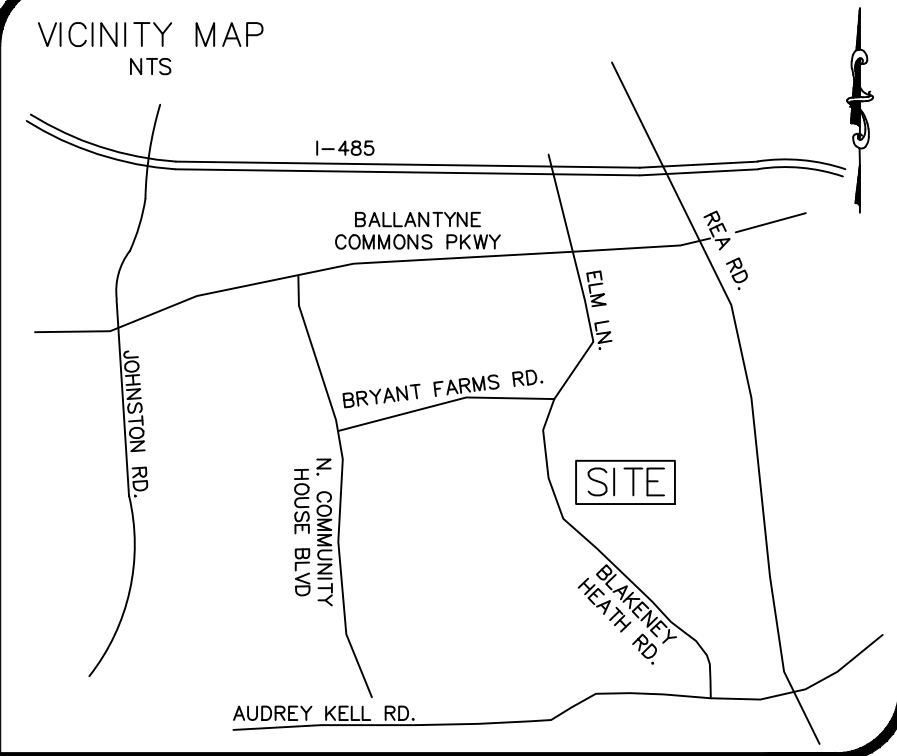
REVISIONS:

APPLICANT:
MeritageHomes

COUNTRY LANE PROPERTY
 CITY OF CHARLOTTE, NORTH CAROLINA
 SKETCH PLAN

PROJECT NO. MRH13090
 FILENAME: MRH13090X
 CHECKED BY: RMR
 DRAWN BY: JL
 SCALE: 1"=50'
 DATE: 11-04-2013
 SHEET NO. 1-1

MCADAMS



SITE DATA

APPLICANT:	MERITAGE HOMES	ACREAGE	6.79
	11605 NORTH COMMUNITY HOUSE ROAD		5.85
	SUITE 250		5.22
	CHARLOTTE, NC 28277	TOTAL: 17.86 AC.	
TAX PARCEL #	22922212		
	22908332		
	22908333		

EXISTING ZONING:	R-3
PROPOSED ZONING:	R-3 (CLUSTER)
ALLOWED DENSITY:	3.0 UNITS/ACRE
PROPOSED DENSITY:	2.80 UNITS/ACRE
MINIMUM LOT WIDTH:	60 FEET
MINIMUM LOT AREAS:	8,000 SF
FRONT SETBACK:	30 FEET
SIDE YARD:	6 FEET
REAR YARD:	30 FEET
PROPOSED RIGHT OF WAY AREA	113,222 SF (2.60 AC)
REQUIRED MINIMUM OPEN SPACE (%):	10% (1.78 ACRES)
PROVIDED OPEN SPACE:	10%
REQUIRED MINIMUM TREE SAVE (%):	10% (1.53 ACRES)
PROVIDED TREE SAVE:	10%
MAXIMUM BUILDING HEIGHT:	40 FEET

■ TREE SAVE/OPEN SPACE

Please include Post-Construction Ordinance Summary Table, completed with data about site.

Please include on the site plan and stormwater management plan the Max. Built-upon-area per lot allowed per design.

On behalf of Candice Leonard (cleonard@charlotte.gov)
Verify with Planning that connections/stub streets are not required

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REVISIONS:

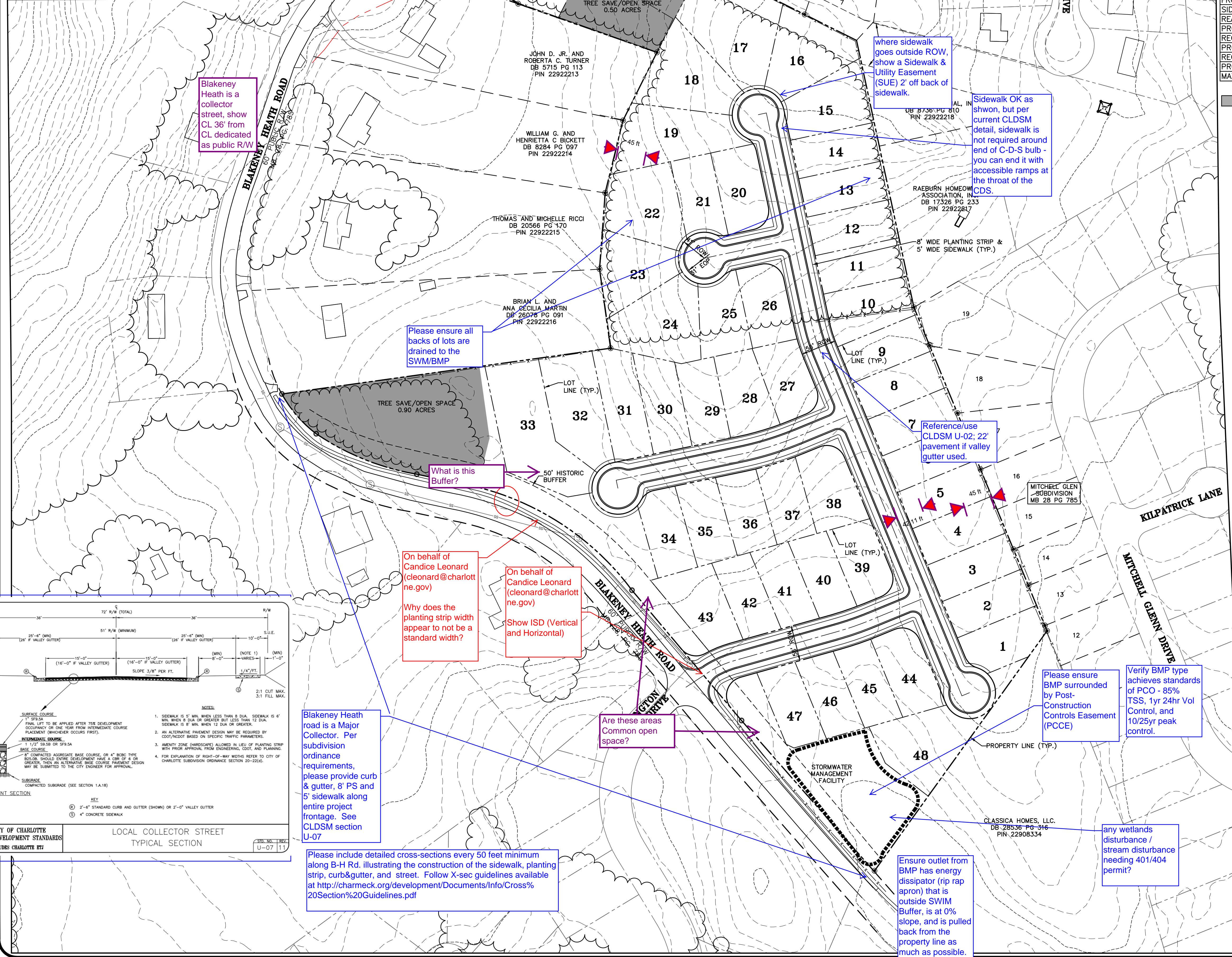


APPLICANT:

BLAKENEY HEATH PROPERTY
CITY OF CHARLOTTE, NORTH CAROLINA

SKETCH PLAN

PROJECT NO.	MRH-13080
FILENAME:	MRH-13080X
CHECKED BY:	RMR
DRAWN BY:	RMR
SCALE:	1"=80'
DATE:	11-04-2013
SHEET NO.	1-1



Curb, gutter, and sidewalk required along this portion of the site also.

Where is the frontage for these lots?

Please also show req'd / provided Natural Area (treed areas) per PCO.

Where sidewalk goes outside ROW, show a Sidewalk & Utility Easement (SUE) 2' off back of sidewalk.

Sidewalk OK as shown, but per current CLDSM detail, sidewalk is not required around end of C-D-S bulb - you can end it with accessible ramps at the throat of the CDS.

42' from back of curb

45' for all exterior lots.

Blakeney Heath is a collector street, show CL 36' from CL dedicated as public RW

Please ensure all backs of lots are drained to the SWM/BMP

Reference/use CLDSM U-02: 22' pavement if valley gutter used.

What is this Buffer?

On behalf of Candice Leonard (cleonard@charlotte.gov)
Why does the planting strip width appear to not be a standard width?

On behalf of Candice Leonard (cleonard@charlotte.gov)
Show ISD (Vertical and Horizontal)

Are these areas Common open space?

Please ensure BMP surrounded by Post-Construction Controls Easement (PCCE)

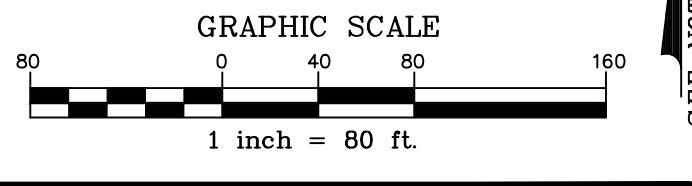
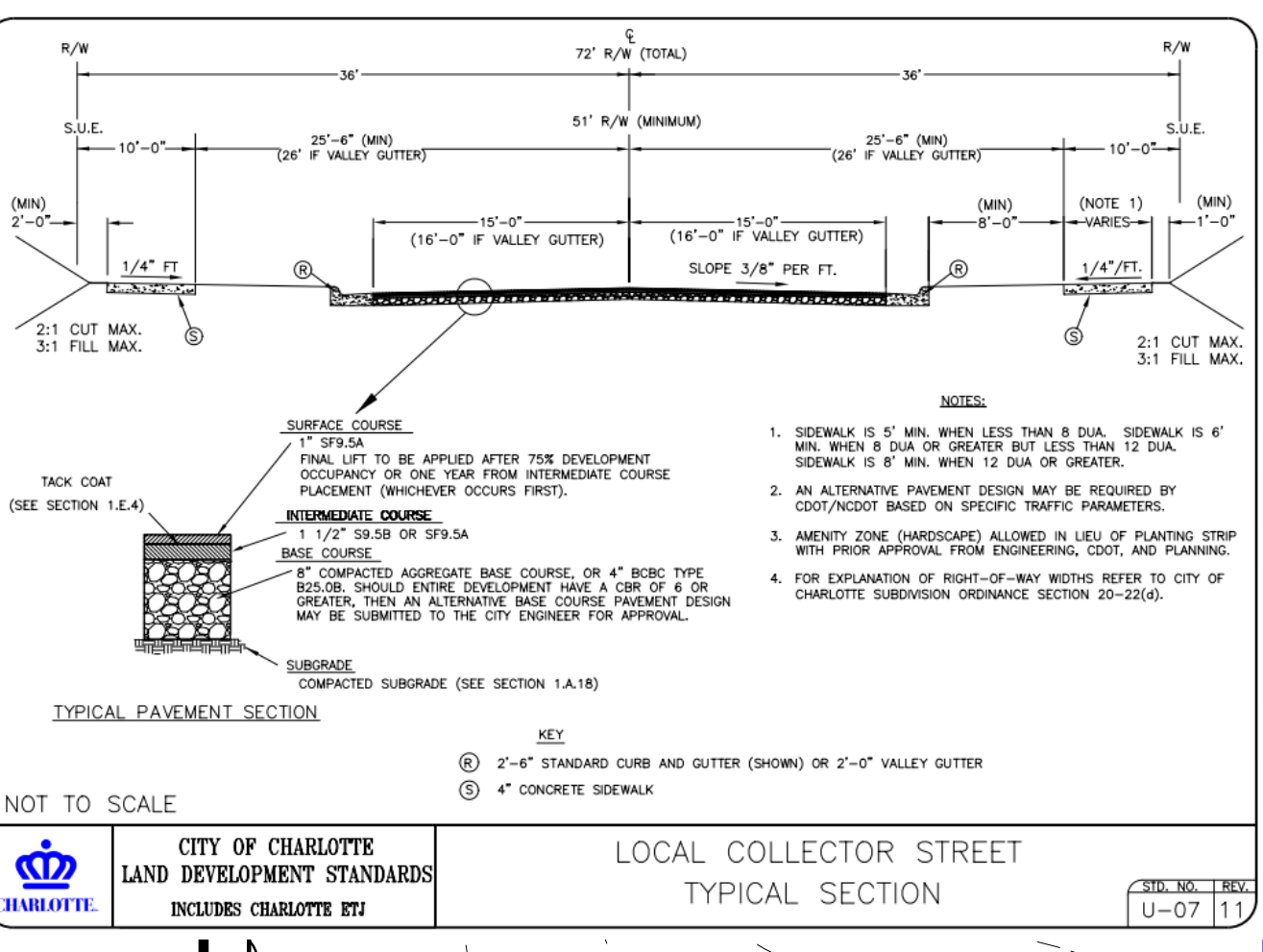
Verify BMP type achieves standards of PCO - 85% TSS, 1yr 24hr Vol Control, and 10/25yr peak control.

any wetlands disturbance / stream disturbance needing 401/404 permit?

Ensure outlet from BMP has energy dissipator (rip rap apron) that is outside SWIM Buffer, is at 0% slope, and is pulled back from the property line as much as possible.

Blakeney Heath road is a Major Collector. Per subdivision ordinance requirements, please provide curb & gutter, 8' PS and 5' sidewalk along entire project frontage. See CLDSM section U-07

Please include detailed cross-sections every 50 feet minimum along B-H Rd. illustrating the construction of the sidewalk, planting strip, curb&gutter, and street. Follow X-sec guidelines available at <http://charmeck.org/development/Documents/Info/Cross%20Section%20Guidelines.pdf>



SEE NOTE 2

Flotree, Cheyenne

From: Weaver, Joshua
Sent: Tuesday, April 23, 2019 11:26 AM
To: Montgomery, Sandra
Subject: FW: File submission successful for SDFPNS-2015-00123 - DEMARE-COUNTRY LN-SUBMITTED-5-8-15.pdf
Attachments: DEMARE-COUNTRY LN-SUBMITTED-5-8-15.pdf; ATT00001.htm

From: Jim DeMare [mailto:jimdemare@yahoo.com]
Sent: Friday, May 08, 2015 12:14 PM
To: Weaver, Joshua <jfweaver@ci.charlotte.nc.us>
Subject: Fwd: File submission successful for SDFPNS-2015-00123 - DEMARE-COUNTRY LN-SUBMITTED-5-8-15.pdf

Hi

I asked Chris to send the map that has the existing home located on it.
I asked to see the map before it was submitted. That did not happen.

Have a good weekend

Jim

Sent from my iPhone

Begin forwarded message:

From: "Christopher D. Faulk" <cfaulk.surveyor@gmail.com>
Date: May 8, 2015 at 11:45:47 AM EDT
To: "James DeMare" <jimdemare@yahoo.com>
Subject: RE: File submission successful for SDFPNS-2015-00123 - DEMARE-COUNTRY LN-SUBMITTED-5-8-15.pdf

thx

From: James DeMare [mailto:jimdemare@yahoo.com]
Sent: Friday, May 08, 2015 11:32 AM
To: Christopher D. Faulk
Subject: Re: File submission successful for SDFPNS-2015-00123 - DEMARE-COUNTRY LN-SUBMITTED-5-8-15.pdf

Chris

Can you email me the plan PDF

Thanks
jim

From: Christopher D. Faulk <cfaulk.surveyor@gmail.com>
To: jimdemare@yahoo.com
Sent: Friday, May 8, 2015 11:04 AM
Subject: FW: File submission successful for SDFPNS-2015-00123 - DEMARE-COUNTRY LN-SUBMITTED-5-8-15.pdf

SUBMITTED!!

-----Original Message-----

From: AccelaDocumentService@accela.com
[mailto:AccelaDocumentService@accela.com]
Sent: Friday, May 08, 2015 11:04 AM
To: cfaulk.surveyor@gmail.com
Subject: File submission successful for SDFPNS-2015-00123 - DEMARE-COUNTRY LN-SUBMITTED-5-8-15.pdf

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File name: DEMARE-COUNTRY LN-SUBMITTED-5-8-15.pdf File size: 284202 bytes
Case/Application/Permit/Entity ID: SDFPNS-2015-00123 Entity Type: CAP Uploaded
date/time: 05/08/2015 08:03 Last status date/time: 05/08/2015 08:03 Uploaded By:
PUBLICUSER110765 (Id: PUBLICUSER110765)
Agency/Organization: CITY OF CHARLOTTE
Document name: DEMARE-COUNTRY LN-SUBMITTED-5-8-15.pdf Document
description: Plat Document type: LD-ACA\application\pdf\1st Submittal - Plat

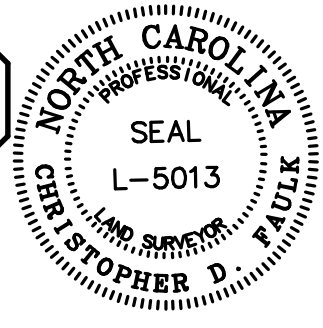
This is an automated email notification. Please do not reply to this email.

"I, CHRISTOPHER D. FAULK, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 16289 PAGE 63); THAT THE RATIO OF PRECISION AS CALCULATED IS 1: 10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 29TH DAY OF APRIL, 2015.

STATE OF NORTH CAROLINA
MECKLENBURG COUNTY

I, _____, REVIEW OFFICER OF MECKLENBURG COUNTY, N.C.
CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS
ALL STATUTORY REQUIREMENTS FOR RECORDING.

PRELIMINARY
NOT FOR SALES OR CONVEYANCES



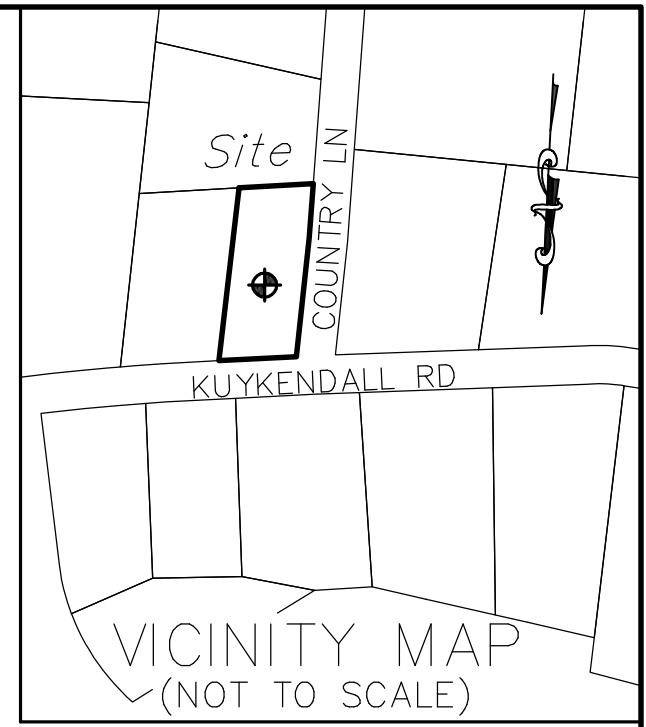
PROFESSIONAL LAND SURVEYOR L-5013

REVIEW OFFICER _____

DATE _____

BETTYE BLAIR NEAL
NOW OR FORMERLY
DB 2618 PG 259
TAX ID # 231-151-19

MAP NORTH per
MB 2491 PG 276



- LEGEND**
- RF REBAR FOUND
 - RS REBAR SET
 - R/W RIGHT-OF-WAY
 - SF SQUARE FEET
 - MB MAP BOOK
 - DB DEED BOOK
 - PG PAGE
 - FS FRONT SETBACK
 - RY REAR YARD
 - SY SIDE YARD
 - CP COMPUTED POINT
 - IPF IRON PIPE FOUND

NOTES

1. AREA CALCULATED BY COORDINATE COMPUTATION.
2. ADJOINING PROPERTY OWNERS NAMES WERE TAKEN FROM MECKLENBURG COUNTY TAX OFFICE RECORDS, AND ARE CONSIDERED AS NOW OF FORMERLY.
3. IRON RODS AT ALL CORNERS UNLESS NOTED.
4. THIS MAP IS SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHT-OF-WAY, UTILITIES AND RESTRICTIVE COVENANTS AND PRELIMINARY PLAN WHICH MAY BE OF RECORD.
5. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES, MEASURED WITH ELECTRONIC MEASURING DEVICES.
6. LOT SUBJECT TO ALL ZONING ORDINANCES OF CITY OF CHARLOTTE. BUILDER/OWNER MUST VERIFY THAT LOT IS IN COMPLIANCE WITH ALL COUNTY AND HOMEOWNERS ASSOCIATION ZONING ORDINANCES PRIOR TO ANY LAND DISTURBANCE OR CONSTRUCTION.
7. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH.
8. NO NCGS MONUMENT FOUND WITHIN 2000 FEET.
9. NO STRUCTURE WILL BE ALLOWED WITHIN TEN (10) FEET OF THE TREE SAVE AREA.

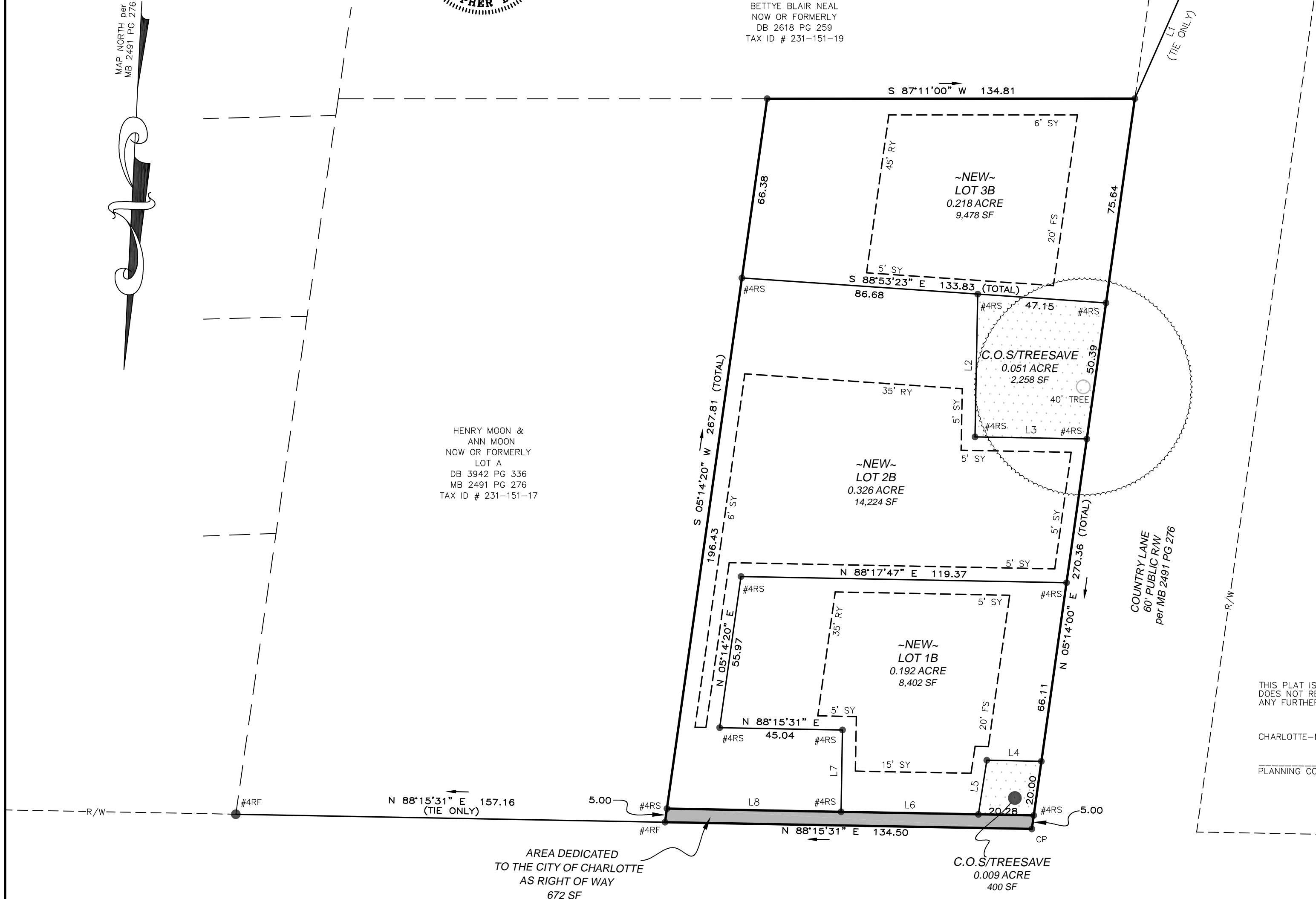
THIS PLAT IS NOT SUBJECT TO THE PROVISIONS OF THE CITY OF CHARLOTTE SUBDIVISION ORDINANCES AND DOES NOT REQUIRE THE APPROVAL OF THE CHARLOTTE-MECKLENBURG PLANNING COMMISSION. HOWEVER, ANY FURTHER SUBDIVISION OF THIS PROPERTY MAY BE SUBJECT TO THESE PROVISIONS.

CHARLOTTE-MECKLENBURG PLANNING COMMISSION

PLANNING COMMISSION STAFF _____

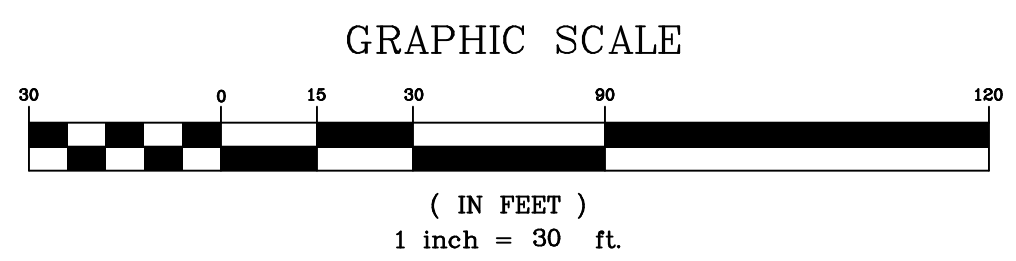
DATE _____

HENRY MOON &
ANN MOON
NOW OR FORMERLY
LOT A
DB 3942 PG 336
MB 2491 PG 276
TAX ID # 231-151-17



SITE NOTES:
SITE AREA: 35,253 SF / 0.809 ACRES
AREA DEDICATED AS PUBLIC R/W: 672 SF / 0.001 ACRES
TREESAVE REQUIRED: 10% OF TOTAL AREA = 3,525 SF / 0.08 ACRES
TREESAVE/Common Open Space USED: 2,658 SF / 0.061 ACRES
SPECIMEN TREE AREA USED FOR TREESAVE: 40" TREE/2,258 SF/0.051 ACRES
TOTAL TREESAVE/Common Open Space AREA USED: 3,787 SF/0.086 ACRES
BUILDING SETBACK REQUIREMENTS (MINIMUM) ZONED R-3 CLUSTER
FRONT: 30' FEET
SIDE YARD: 5' FEET INTERNAL, 6' FEET EXTERNAL
REAR YARD: 45' FEET EXTERNAL, 30' FEET INTERNAL
MINIMUM LOT WIDTH: 60' FEET
MINIMUM LOT AREA: 8,000 SF

FLOOD NOTE:
NO PORTION OF THE SUBJECT PROPERTY SHOWN HEREON LIES WITHIN A SPECIAL FLOOD HAZARD AREA PER F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 3710447800K, DATED: FEBRUARY 19, 2014.



LINE	BEARING	DISTANCE
L1	S 21°04'05" W	54.18
L2	N 01°42'13" W	52.34
L3	N 88°17'47" E	41.00
L4	S 88°22'24" W	20.00
L5	N 06°01'05" E	20.08
L6	N 88°15'26" E	50.36
L7	N 01°48'11" W	30.01
L8	N 88°15'26" E	63.85

FINAL PLAT
AT PROPERTY KNOWN AS
4720 COUNTRY LANE
LOT B, MAP BOOK 2491 PAGE 276
DEED BOOK 16289 PAGE 63
TAX # 231-151-18
OWNER: JAMES SHUMAN JR.
CITY OF CHARLOTTE, MECKLENBURG COUNTY, NC
DATE: APRIL 29, 2015

PHOENIX LAND SURVEYING, INC
1402 WAXHAW-INDIAN TRAIL ROAD
INDIAN TRAIL, NORTH CAROLINA 28079
PH: (704)-335-1655 FAX: 704-684-0514
EMAIL: PHOENIX-SURVEYING.COM
FIRM # C-3912

Flotree, Cheyenne

From: Weaver, Joshua
Sent: Tuesday, April 23, 2019 11:24 AM
To: Montgomery, Sandra
Subject: FW: photos of Loma Linda & Country Ln, just FYI
Attachments: loma linda & country ln.zip

From: Smith, Brendan
Sent: Friday, September 12, 2014 1:04 PM
To: Bryant, Keith <kbryant@ci.charlotte.nc.us>; Weaver, Joshua <jfweaver@ci.charlotte.nc.us>
Subject: photos of Loma Linda & Country Ln, just FYI

attached

Brendan M. Smith

City of Charlotte | Engineering & Property Management | Land Development Division
600 E. 4th St | Charlotte, NC 28277 | 704-336-4556 | <http://development.charmeck.org>

























Flotree, Cheyenne

From: Weaver, Joshua
Sent: Tuesday, April 23, 2019 11:23 AM
To: Montgomery, Sandra
Subject: FW: Providence Retreat II

From: Reddick, Rob [mailto:reddick@mcadamsco.com]
Sent: Monday, May 02, 2016 4:07 PM
To: Weaver, Joshua <jfweaver@ci.charlotte.nc.us>
Subject: Providence Retreat II

Good Afternoon Josh

I need to run a couple questions by you. I know we have been playing phone tag over the last couple works days. My questions are for Providence Retreat 2. We are looking to slightly reduce the lot size on a couple lots. The builder would like the lots to be 8,500 SF or slightly less so they can 40% maximum building coverage instead of 35%. Here are my few questions.

1. The site plan calls out 42' Row and 7' sidewalk easement. Can we increase the 42' to say 44' and have 6' sidewalk easements?
2. If we do increase the ROW is the setback affected? On the site plan we were showing the setback from the boc but the plat was calling it from the ROW.
3. If we did increase the ROW can the extra two feet just be to on side? Essentially we would have an offset ROW?

Please give me a call when you can discuss.

Thank
Rob

Robert M. Reddick Jr, PE | Director, Charlotte Region

3436 Toringdon Way, Suite 110 | Charlotte, NC 28277
Office: 704.527.0800 x 321
Mobile: 704.361.6889
McAdamsCo.com



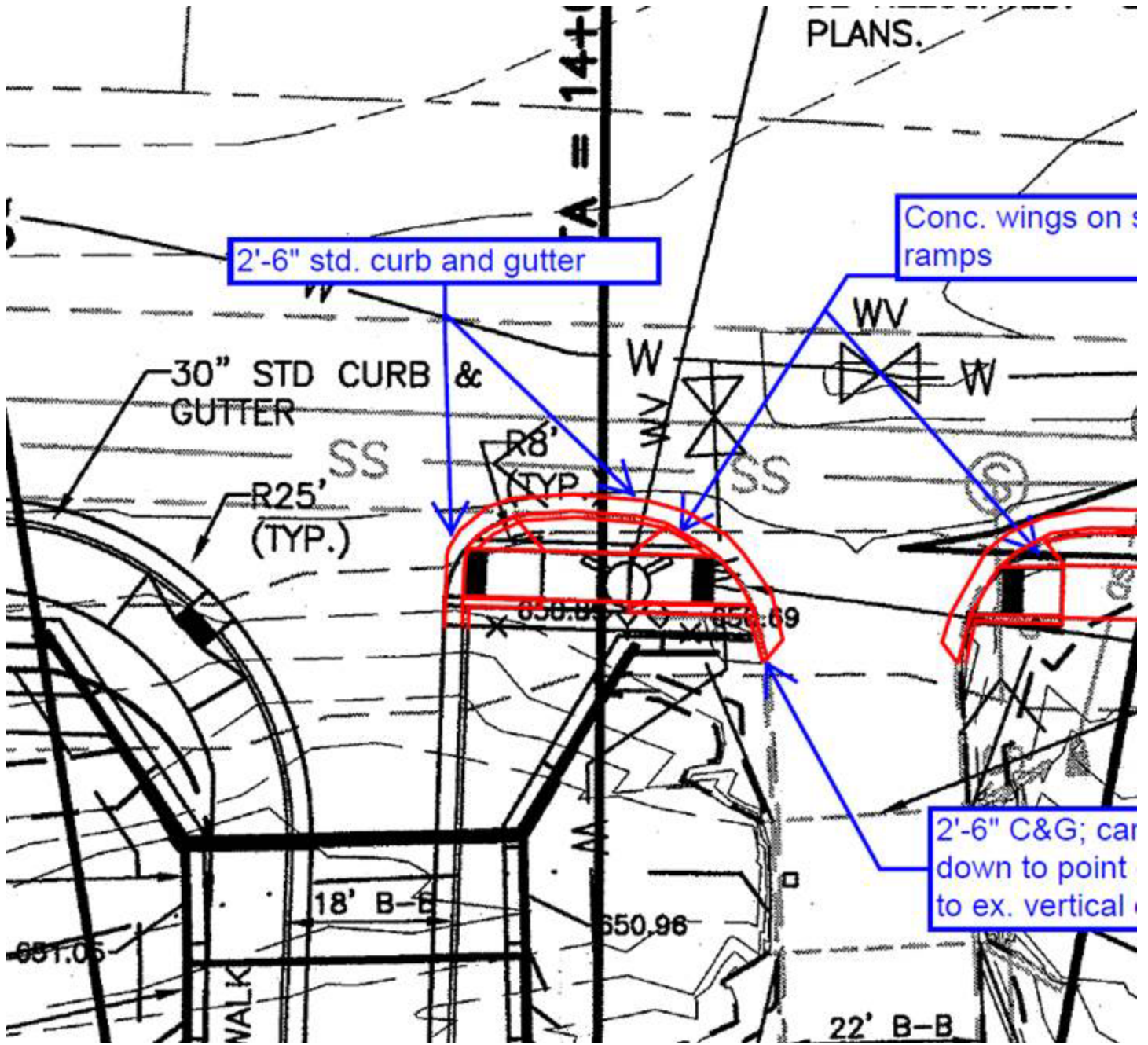
**Our Charlotte office has moved! Check out our new address above!*

Flotree, Cheyenne

From: Weaver, Joshua
Sent: Tuesday, April 23, 2019 11:19 AM
To: Montgomery, Sandra
Subject: FW: suggestion for Country Ln / Loma Linda

From: Smith, Brendan
Sent: Thursday, March 12, 2015 3:47 PM
To: Reddick, Rob <reddick@mcadamsco.com>
Cc: Hedrick, Kory <khedrick@ci.charlotte.nc.us>; Weaver, Joshua <jfweaver@ci.charlotte.nc.us>
Subject: suggestion for Country Ln / Loma Linda

Rob, You had asked about what we wanted to see for the curbs/ramps at the entrance to Loma Linda and how to transition to the existing curbs over the ex. box culvert. We need the gutter to be added. Here is an suggested design for you:



Brendan M. Smith

City of Charlotte | Engineering & Property Management | Land Development Division
 600 E. 4th St | Charlotte, NC 28277 | 704-336-4556 | <http://development.charmeck.org>

Flotree, Cheyenne

From: Greg Whitehead <greg@cornerstonedevelopment.net>
Sent: Tuesday, February 6, 2018 1:47 PM
To: Frye, Shannon
Subject: FW: Country Lane

Shannon
See below ---- I really need some help on this

From: Greg Whitehead
Sent: Thursday, February 01, 2018 7:05 PM
To: Frye, Shannon <swfrye@ci.charlotte.nc.us>
Subject: RE: Country Lane

Shannon
I was hoping to speak with you regarding this situation.

The Craig's are very passionate about this situation as you can likely understand. They have placed a fence across the roads on the north side of Country Lane blocking us from our property. They have also hired a attorney to argue that the ROW is invalid (they honestly have presented an interesting case). He is also arguing that the city has previously agreed not to open the road. After understanding the cities position he purchase his current home site.

Again, thank you for assuring him that I am planning to develop the approved sketch plan as I believe that move the ball forward. He is not satisfied at this time in regards to his last request to abandon the ROW.

That said, I have a couple of requests: 1) while we are trying to get him to remove the fence and additionally drop his claim, can you allow your staff to start reviewing the plans prior to pay the review fees. Get the approval on the plans along with the second items will resolve the Craig's concerns. I don't feel comfortable paying the review fee while this is pending. 2) Assuming my plans are approved, the Craig's seem to be interested in dropping the case if they are able to purchase some of the land from the parcel I am developing. The parcel is just south of their homesite. That said, I have more open space, tree save and nature areas than required. Can you allow me to deed restrict these area, restricted the areas with notations on the plats and let the Craig's own this parcel? This would be as opposed to deeding the parcel over to a HOA or LLC.

Please advise

From: Frye, Shannon [<mailto:swfrye@ci.charlotte.nc.us>]
Sent: Thursday, February 1, 2018 5:24 PM
To: Greg Whitehead <greg@cornerstonedevelopment.net>
Cc: Craig, Gina <gina.craig@nuveen.com>; Craig, Eric E <Eric.Craig@tiaa.org>; Weaver, Joshua <jfweaver@ci.charlotte.nc.us>
Subject: Country Lane

I want to advise that I have spoken with Mr. Craig at length. I am drafting a response to confirm that the City will not require improvements with your development proposal to construct or complete improvements to Country Lane that create a through connection. I have also advised and will document that the City would not support a request for this portion of Country Lane to be abandoned.

I will certainly copy you on this correspondence. I hope to have this disseminated by the COB tomorrow 2/2.

Best Regards,

Shannon W. Frye

Planning Manager

Charlotte Mecklenburg Planning Department

600 East Fourth Street, Charlotte, NC 28202

704.336.8322

www.charlottenc.gov

Flotree, Cheyenne

From: Boenisch, Jeffrey
Sent: Monday, April 23, 2018 11:45 AM
To: Smith, David; Horltdt, Bruce; Quinn, Johanna
Cc: Frye, Shannon
Subject: FW: Country Lane (fence obstruction)

FYI:

From: Cuberson, Dana
Sent: Monday, April 23, 2018 10:18 AM
To: Boenisch, Jeffrey
Cc: Johnson, Carolyn
Subject: Country Lane (fence obstruction)

Hi Jeff,

I am following up on our meeting in this matter. As I understand the issue, a developer has requested that the City remove a fence erected by a private property owner on a non-City maintained portion of Country Lane. I understand that City staff has already expressed to the developer that it does not have any interest in unaccepted/non-City maintained rights-of-way, and hence, the dispute regarding the fence is more properly resolved between the developer and the private property owner who refuses to move the fence.

My office has conducted more research regarding this matter. The available research supports the City's previously expressed position that this issue is one amongst private property owners, and the City need not intervene. Therefore, under these facts, I am comfortable with staff maintaining its current position in this matter if the developer continues to request that the City remove the fence.

If you are aware of any new facts regarding this issue or would otherwise like to discuss further, please let me know.

Thank you,
Dana



Dana Clemons Cuberson

ASSISTANT CITY ATTORNEY
OFFICE OF THE CITY ATTORNEY

Office: 704.336.5803 | Facsimile: 704-632-8591

Dana.Cuberson@charlottenc.gov | www.charlottenc.gov

Flotree, Cheyenne

From: Weaver, Joshua
Sent: Thursday, February 1, 2018 4:51 PM
To: Frye, Shannon
Subject: FW: Country Lane
Attachments: countrylane11918.pdf

From: Greg Whitehead [mailto:greg@cornerstonedevelopment.net]
Sent: Friday, January 19, 2018 1:13 PM
To: Weaver, Joshua
Subject: FW: Country Lane

Josh
I need your input on the country lane project.

The Craig family has expressed concerns regarding how Country Lane may be developed now or in the future. Their home is located at a point where Country Lane borders the front and side of their home. These two portions of Country Lane do not connect.

There was a plan submittal for the property I am developing prior to the down turn. The prior property owner met with the city and city officials confirmed that the roadway would not be connected. That homeowner presented this information to the Craig family and the Craig family purchased their home. Country Lane (ex 60' public R/W MB 1487 459). 4609 COUNTRY LN (2) CHARLOTTE NC 28270. Parcel ID 23101110

Although, we may not be able to give them an absolute confirmation that a cut through road would never be developed, I would like to provide him sufficient information so that he can conclude that the hypothetical connection is highly unlikely and/or impossible.

I am providing confirmation that my project would not connect to the south side of Country Lane in front of your home. I am providing Mr. Craig with a copy of what was submitted to the city.

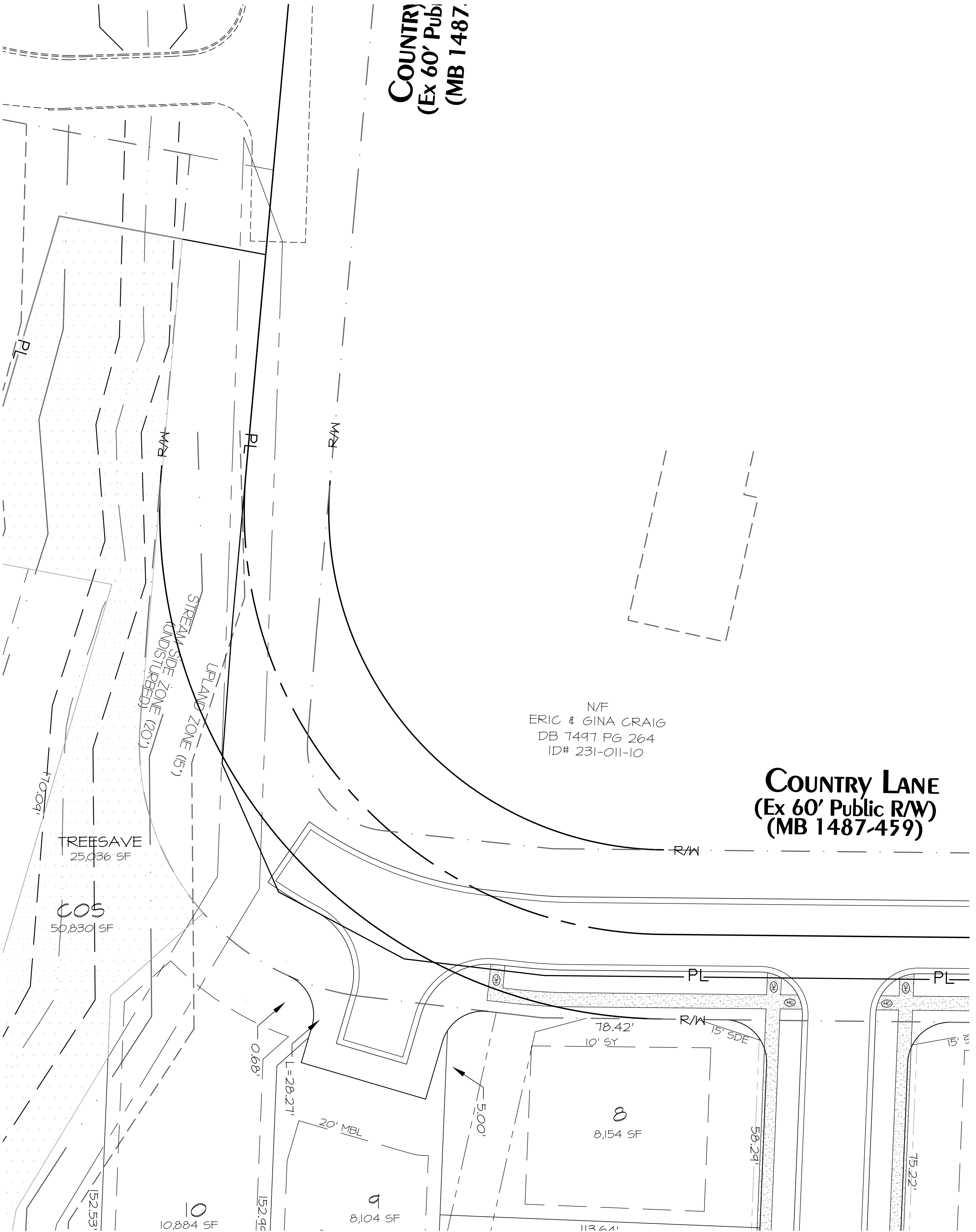
1. Please confirm that you have received sketch plan approval for the plan and that plans don't make the connection.
2. I have forwarded you confirmation that the city received the plan submittal and match up with the sketch plan – a demonstration that we intend to build a roadway that corresponds with the Craig's request.
3. The existing ROW cannot accommodate a hypothetical roadway as there is insufficient ROW to meet the city's design standards. Likewise, the roadway would need to have a 150' radius turn which would encroach into the yard of the Craig's homesite. As we discussed, the minimum radius is 150'. I think the attached demonstrates that in order to connect the two sides of country lane, you would need to purchase more land from the Craig family.

Can you please confirm receipt of the three exhibits above so we can ease the Craig Family's concerns.

COUNTRY
(Ex 60' Pub
(MB 1487.

N/F
ERIC & GINA CRAIG
DB 7497 PG 264
ID# 231-011-10

COUNTRY LANE
(Ex 60' Public R/W)
(MB 1487-459)



Flotree, Cheyenne

From: Frye, Shannon
Sent: Thursday, July 5, 2018 1:51 PM
To: Weaver, Joshua
Subject: FW: [EXT] RE: Voice Mail

Can you please let me know if the plans have been received for Country Lane. I left Eric a voice mail on Tuesday to advise I would check with you and we could let him know. I would like to give them a call when we meet this afternoon.

Thanks!

From: Craig, Eric E [mailto:Eric.Craig@tiaa.org]
Sent: Thursday, July 05, 2018 1:01 PM
To: Frye, Shannon
Cc: Craig, Gina
Subject: [EXT] RE: Voice Mail

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Shannon – I left you a voice mail earlier this morning and am following up to see if there is a good time for us to have a call today. It may be a bit easier than playing phone tag 😊.

We will make ourselves available if you give us a time.

Thanks!

Eric Craig
AML Officer TIAA Life & CREF
Senior Director | AML Governance | Advocacy & Oversight
TIAA | Financial Services
704-988-8008 (Office)
eric.craig@tiaa.org

From: Frye, Shannon [mailto:swfrye@ci.charlotte.nc.us]
Sent: Tuesday, July 03, 2018 5:00 PM
To: Craig, Eric E
Subject: Voice Mail

We can catch up by phone on Thursday if that will work for your schedule. I will check to see if the plans are here and can share if so, it is public record.

Have a happy and safe 4th of July!

Shannon Frye | Subdivision Administrator
Charlotte Planning Department | Subdivision Administration
600 East 4th Street, 8th Floor, Charlotte, NC 28202

D: 704.336.8322 M: 704.654.8870

Creating Great Places for Our Community

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If you are not the intended recipient, please notify the sender immediately and then delete it.

TIAA

Flotree, Cheyenne

From: Weaver, Joshua
Sent: Wednesday, April 4, 2018 12:04 PM
To: Boenisch, Jeffrey
Subject: Proposed Country Ln Subdivison
Attachments: Pages from 1017-sseta.pdf

Jeff,

Here is the siteplan for Mr. Whitehead's project. Please let me know if you need anything else.

Josh

Flotree, Cheyenne

From: Weaver, Joshua
Sent: Thursday, August 31, 2017 12:29 PM
To: Greg Whitehead
Cc: Alzate, Carlos
Subject: RE:

Greg,

Country In would need to be improved to the limits of your property, and an acceptable turn around would need to be provided. There maybe other design options, however just stopping the road improvements at the intersection would not meet ordinance requirements.

Joshua Weaver
Principal Planner
Subdivision

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

600 East Fourth Street Charlotte, NC 28202

PH: 704.336.5720
jfweaver@charlottenc.gov
www.charlottenc.gov

From: Greg Whitehead [mailto:greg@cornerstonedevelopment.net]
Sent: Tuesday, August 29, 2017 3:51 PM
To: Weaver, Joshua
Subject: FW:

Hi

I have a design question. – lots 9 and 10 are marginal quality lots. If I were not to develop lots 9 and 10 – how can I terminate the roadway at the intersection to avoid the additional roadway that runs down to lots 9 and 10

Flotree, Cheyenne

From: Frye, Shannon
Sent: Monday, May 21, 2018 10:48 AM
To: Craig, Eric E; Craig, Gina
Cc: Weaver, Joshua
Subject: RE: [EXT] Meeting request RE: Country Lane Development

Good Morning.

Can you make Thursday work at 3:00 or 3:30? If Friday, works better, we can do Friday at 10:00. Once we confirm time, I will forward an appointment with location.

Shannon Frye | Subdivision Administrator
Charlotte Planning Department | Subdivision Administration
600 East 4th Street, 8th Floor, Charlotte, NC 28202
D: 704.336.8322 M: 704.654.8870

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From: Craig, Eric E [mailto:Eric.Craig@tiaa.org]
Sent: Monday, May 21, 2018 10:13 AM
To: Frye, Shannon; Craig, Gina
Subject: RE: [EXT] Meeting request RE: Country Lane Development

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Shannon – Following up again...Gina is traveling M-W and we are trying to keep Tr and Friday open as the original dates we proposed for availability.

Can you please confirm a date and time.

Thank you!

Eric Craig
AML Officer TIAA Life & CREF
Senior Director | AML Governance | Advocacy & Oversight
TIAA | Financial Services
704-988-8008 (Office)
eric.craig@tiaa.org

From: Craig, Eric E
Sent: Wednesday, May 16, 2018 3:50 PM

To: 'Frye, Shannon'; Craig, Gina
Subject: RE: [EXT] Meeting request RE: Country Lane Development

Shannon – Just a follow up. Can you confirm the date and time that works for you next week so we can take the appropriate time off work.

Thank you!

Eric Craig
AML Officer TIAA Life & CREF
Senior Director | AML Governance | Advocacy & Oversight
TIAA | Financial Services
704-988-8008 (Office)
eric.craig@tiaa.org

From: Craig, Eric E
Sent: Thursday, May 10, 2018 10:14 AM
To: 'Frye, Shannon'; Craig, Gina
Subject: RE: [EXT] Meeting request RE: Country Lane Development

Shannon – We appreciate your apology and look forward to the discussion. Gina and I can be available on the 24th or 25th with advanced notice.

Please let us know if share you can share the issues that have arisen to ensure they are the ones we are aware of and so we can be prepared for the discussion.

Thanks again!

Eric Craig
AML Officer TIAA Life & CREF
Senior Director | AML Governance | Advocacy & Oversight
TIAA | Financial Services
704-988-8008 (Office)
eric.craig@tiaa.org

From: Frye, Shannon [<mailto:swfrye@ci.charlotte.nc.us>]
Sent: Thursday, May 10, 2018 10:04 AM
To: Craig, Gina
Cc: Craig, Eric E
Subject: RE: [EXT] Meeting request RE: Country Lane Development

Good Morning.

Gina & Eric, I sincerely apologize any delay and for not responding directly to you. I have been briefed by other City employees of issues that have arisen with this proposed development and admittedly do not know of any resolve.

With this said, I am requesting time to meet with other staff members (CDOT, City Attorney, and Planning staff). I would like to request that you email me availability you may have the week of 5/21 and I can calendar a meeting.

Best Regards,
Shannon Frye | Subdivision Administrator
Charlotte Planning Department | Subdivision Administration
600 East 4th Street, 8th Floor, Charlotte, NC 28202

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From: Craig, Gina [mailto:gina.craig@nuveen.com]
Sent: Tuesday, May 08, 2018 9:45 PM
To: Frye, Shannon
Cc: Craig, Eric E
Subject: [EXT] Meeting request RE: Country Lane Development

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Shannon – As a follow up to the multiple e-mails and voice mails we have sent to you that have not been returned, we would like to set up time to discuss our situation as it relates to the development being proposed by Greg Whitehead on Country Lane (Chelsea off Providence).

We have been in disagreement with Mr. Whitehead’s interpretation of the location of our property line along Country Ln (off Kuykendall Rd) and the right of way being located mostly on our side of this property line. Per Greg, he is submitting plans to the city for review/approval that include opening the Country Lane right of way, and rather than having the new proposed road split 50/50 along the property line, he is proposing to use more land on our side of the center line to an extent beyond what our property records show is even part of the right of way.

Additionally, he is threatening a private drive through our frontage on Country Lane near the Loma Linda Ln intersection for access to his new proposed development, claiming that he does not need a permit for it, as opposed to a public street that would require permitting and City approval. This approach could in effect cause the “Private Drive” to be used a cut through from Providence to Kuykendall road with the same traffic flow as if it were opened. Similarly, he has stated that he intends to use this space for access to construct his development. This is of great concern to us, and would also appear to adversely impact the neighboring watershed buffer area per our environmental impact survey. We could like to discuss for clarity from the City’s perspective whether his claims are valid that he can improve the right of way with a private drive without obtaining City approval or permitting.

As we believe you have been in communication with Mr. Whitehead (based on his comments to us), and he states that once the City approves the plans we have no recourse, we would appreciate the opportunity to further discuss our position to avoid further legal actions on both sides.

Lastly, and this may or may not be important to your office, he has also claimed that a fence we have built on our property impedes access to the land he intends to purchase. This is not true. While the fence does cross the existing gravel path, which is located on our side of the property line on Country Lane and has in the past been used by residents of the now vacant houses, there is still room to the north side of our fence and along and the east side (side he intends to purchase) of the property line allowing access those lots. Further, we understand that if the right of way is approved to be opened in the future, we would need to remove or relocate our fence as to not interfere with any approved plans for opening the road. However, at this time, the right of way has not been opened, so we are unclear regarding the basis under which Mr. Whitehead opposes our fence.

We would appreciate if you would kindly let us know your upcoming availability for a discussion on these topics as soon as possible to avoid further escalation, and that going forward, our communications are not shared with Mr. Whitehead.

[After drafting this message today, we received some new information through Mr. Whitehead's attorney, that he is further revising his sketch plans with indication that some of our previous discrepancies with him may be addressed in the new drawing. However, we still wanted to communicate to you these ongoing concerns described above that are still outstanding in our mind until such new plans are submitted. Further, we would still like to meet with you to discuss the status of this project, which has potential to greatly impact our home and property.]

Thank you,
Eric and Gina Craig

Eric 704.607.8294 | Gina 704.287.0391

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If you are not the intended recipient, please notify the sender immediately and then delete it.

TIAA

Flotree, Cheyenne

From: Craig, Eric E <Eric.Craig@tiaa.org>
Sent: Monday, May 21, 2018 10:53 AM
To: Frye, Shannon; Craig, Gina
Cc: Weaver, Joshua
Subject: RE: [EXT] Meeting request RE: Country Lane Development

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Shannon – Thank you. I think Friday at 10:00 will work best at this time. Gina is in the air and I would like her to confirm before we solidify. Hoping she can check her e-mails early this afternoon to confirm.

Apologies for being a pain, but we have had quite a roller coaster of events with Mr. Whitehead and we do not want to be bullied into a decision without all of the facts.

Thanks again!

Eric Craig
AML Officer TIAA Life & CREF
Senior Director | AML Governance | Advocacy & Oversight
TIAA | Financial Services
704-988-8008 (Office)
eric.craig@tiaa.org

From: Frye, Shannon [mailto:swfrye@ci.charlotte.nc.us]
Sent: Monday, May 21, 2018 10:48 AM
To: Craig, Eric E; Craig, Gina
Cc: Weaver, Joshua
Subject: RE: [EXT] Meeting request RE: Country Lane Development

Good Morning.

Can you make Thursday work at 3:00 or 3:30? If Friday, works better, we can do Friday at 10:00. Once we confirm time, I will forward an appointment with location.

Shannon Frye | Subdivision Administrator
Charlotte Planning Department | Subdivision Administration
600 East 4th Street, 8th Floor, Charlotte, NC 28202
D: 704.336.8322 M: 704.654.8870

Creating Great Places for Our Community

From: Craig, Eric E [mailto:Eric.Craig@tiaa.org]
Sent: Monday, May 21, 2018 10:13 AM
To: Frye, Shannon; Craig, Gina
Subject: RE: [EXT] Meeting request RE: Country Lane Development

EXTERNAL EMAIL: This email originated from the Internet. Do not click any images, links or open any attachments unless you recognize and trust the sender and know the content is safe.

Shannon – Following up again...Gina is traveling M-W and we are trying to keep Tr and Friday open as the original dates we proposed for availability.

Can you please confirm a date and time.

Thank you!

Eric Craig
AML Officer TIAA Life & CREF
Senior Director | AML Governance | Advocacy & Oversight
TIAA | Financial Services
704-988-8008 (Office)
eric.craig@tiaa.org

From: Craig, Eric E
Sent: Wednesday, May 16, 2018 3:50 PM
To: 'Frye, Shannon'; Craig, Gina
Subject: RE: [EXT] Meeting request RE: Country Lane Development

Shannon – Just a follow up. Can you confirm the date and time that works for you next week so we can take the appropriate time off work.

Thank you!

Eric Craig
AML Officer TIAA Life & CREF
Senior Director | AML Governance | Advocacy & Oversight
TIAA | Financial Services
704-988-8008 (Office)
eric.craig@tiaa.org

From: Craig, Eric E
Sent: Thursday, May 10, 2018 10:14 AM
To: 'Frye, Shannon'; Craig, Gina
Subject: RE: [EXT] Meeting request RE: Country Lane Development

Shannon – We appreciate your apology and look forward to the discussion. Gina and I can be available on the 24th or 25th with advanced notice.

Please let us know if share you can share the issues that have arisen to ensure they are the ones we are aware of and so we can be prepared for the discussion.

Thanks again!

Eric Craig
AML Officer TIAA Life & CREF
Senior Director | AML Governance | Advocacy & Oversight
TIAA | Financial Services
704-988-8008 (Office)
eric.craig@tiaa.org

From: Frye, Shannon [mailto:swfrye@ci.charlotte.nc.us]
Sent: Thursday, May 10, 2018 10:04 AM
To: Craig, Gina
Cc: Craig, Eric E
Subject: RE: [EXT] Meeting request RE: Country Lane Development

Good Morning.

Gina & Eric, I sincerely apologize any delay and for not responding directly to you. I have been briefed by other City employees of issues that have arisen with this proposed development and admittedly do not know of any resolve.

With this said, I am requesting time to meet with other staff members (CDOT, City Attorney, and Planning staff). I would like to request that you email me availability you may have the week of 5/21 and I can calendar a meeting.

Best Regards,
Shannon Frye | Subdivision Administrator
Charlotte Planning Department | Subdivision Administration
600 East 4th Street, 8th Floor, Charlotte, NC 28202
D: 704.336.8322 M: 704.654.8870

Creating Great Places for Our Community

From: Craig, Gina [mailto:gina.craig@nuveen.com]
Sent: Tuesday, May 08, 2018 9:45 PM
To: Frye, Shannon
Cc: Craig, Eric E
Subject: [EXT] Meeting request RE: Country Lane Development

EXTERNAL EMAIL: This email originated from the Internet. Do not click any images, links or open any attachments unless you recognize and trust the sender and know the content is safe.

Shannon – As a follow up to the multiple e-mails and voice mails we have sent to you that have not been returned, we would like to set up time to discuss our situation as it relates to the development being proposed by Greg Whitehead on Country Lane (Chelsea off Providence).

We have been in disagreement with Mr. Whitehead's interpretation of the location of our property line along Country Ln (off Kuykendall Rd) and the right of way being located mostly on our side of this property line. Per Greg, he is submitting plans to the city for review/approval that include opening the Country Lane right of way, and rather than

having the new proposed road split 50/50 along the property line, he is proposing to use more land on our side of the center line to an extent beyond what our property records show is even part of the right of way.

Additionally, he is threatening a private drive through our frontage on Country Lane near the Loma Linda Ln intersection for access to his new proposed development, claiming that he does not need a permit for it, as opposed to a public street that would require permitting and City approval. This approach could in effect cause the "Private Drive" to be used a cut through from Providence to Kuykendall road with the same traffic flow as if it were opened. Similarly, he has stated that he intends to use this space for access to construct his development. This is of great concern to us, and would also appear to adversely impact the neighboring watershed buffer area per our environmental impact survey. We could like to discuss for clarity from the City's perspective whether his claims are valid that he can improve the right of way with a private drive without obtaining City approval or permitting.

As we believe you have been in communication with Mr. Whitehead (based on his comments to us), and he states that once the City approves the plans we have no recourse, we would appreciate the opportunity to further discuss our position to avoid further legal actions on both sides.

Lastly, and this may or may not be important to your office, he has also claimed that a fence we have built on our property impedes access to the land he intends to purchase. This is not true. While the fence does cross the existing gravel path, which is located on our side of the property line on Country Lane and has in the past been used by residents of the now vacant houses, there is still room to the north side of our fence and along and the east side (side he intends to purchase) of the property line allowing access those lots. Further, we understand that if the right of way is approved to be opened in the future, we would need to remove or relocate our fence as to not interfere with any approved plans for opening the road. However, at this time, the right of way has not been opened, so we are unclear regarding the basis under which Mr. Whitehead opposes our fence.

We would appreciate if you would kindly let us know your upcoming availability for a discussion on these topics as soon as possible to avoid further escalation, and that going forward, our communications are not shared with Mr. Whitehead.

[After drafting this message today, we received some new information through Mr. Whitehead's attorney, that he is further revising his sketch plans with indication that some of our previous discrepancies with him may be addressed in the new drawing. However, we still wanted to communicate to you these ongoing concerns described above that are still outstanding in our mind until such new plans are submitted. Further, we would still like to meet with you to discuss the status of this project, which has potential to greatly impact our home and property.]

Thank you,
Eric and Gina Craig

Eric 704.607.8294 | Gina 704.287.0391

This e-mail may contain confidential or privileged information.
If you are not the intended recipient, please notify the sender immediately and then delete it.

TIAA

This e-mail may contain confidential or privileged information.
If you are not the intended recipient, please notify the sender immediately and then delete it.

TIAA

Flotree, Cheyenne

From: Campbell, Debra
Sent: Monday, September 10, 2018 6:55 PM
To: Greg Whitehead
Cc: Wilkinson, Brent; Weaver, Joshua
Subject: Re: [EXT] Recombo plat. SDRSF-2018-00007

Follow Up Flag: Follow up
Flag Status: Completed

Thanks for your email. I am copying Brent Wilkinson and Josh Weaver to discuss this. We will try to get a response as soon as possible.

Josh or Brent please update me at your earliest convenience.

Thanks!

Sent from my iPhone

On Sep 10, 2018, at 4:22 PM, Greg Whitehead <greg@cornerstonedevelopment.net> wrote:

EXTERNAL EMAIL: This email originated from the Internet. Do not click any images, links or open any attachments unless you recognize and trust the sender and know the content is safe.

Debra

I hope this email finds you well.

I don't like to escalate issues as it seems to always come back and cause delays.

On this project we have experienced excessive delays in review times. I have sometime sent multiply emails on a subject and never received a response.

After 9 months we are down to one issue. I need to get a recombination plat recorded such that the plans can be approved.

I understand that staff are overloaded. Please see below and review the file ... sdrsf--- 2018 -0007

Jennifer

I hope all is well. I am writing in regards to the recombination plat that is subject to the email below. To my knowledge we have not heard from anyone regarding the recording of the plat. I am purchasing the property from a seller that is represented by legal counsel. The attorney for the seller has indicated that I am stalling the closing by not getting the recombination plat recorded. Likewise, I spoke with Mike Kenny who said that the recombination plat is permitted by state statute and may not even require a stamp. I read the statute and agree with the interpretation. Our entire plan evolves around the recombination plat.

I need a acceptance of the plat or an office rejection with specific language as to why it is being rejected. I am being force by the seller to pursue this up the chain. I am hoping that the attorney will stay out of it at least until I get an official answer.

I apologize in advance as it does appear to the seller that I am stalling. They frankly don't believe that city would sit on a stamp to a **recombination plat from July 24th**.

Please advise ---- We are available anytime for a meeting. That notwithstanding, I need a written answer while we are awaiting a meeting time.

From: Frixen, Jennifer <jfrixen@ci.charlotte.nc.us>

From: Greg Whitehead

Sent: Wednesday, August 22, 2018 12:14 PM

To: Frixen, Jennifer <jfrixen@ci.charlotte.nc.us>; Chris Robusto <crobusto@livewellhomes.net>

Subject: RE: [EXT] Recombo plat

Jen

I hope we can get this approved. I am the developer and suppose to close on the property after the recombination plat is recorded. The seller has engaged an attorney. The seller engaged the attorney for another matter but now that the closing is being held up, the attorney believes that the seller is entitled to the recording of the plat per the state statute.

From: Frixen, Jennifer <jfrixen@ci.charlotte.nc.us>

Sent: Wednesday, August 22, 2018 11:56 AM

To: Chris Robusto <crobusto@livewellhomes.net>

Cc: Greg Whitehead <greg@cornerstonedevelopment.net>

Subject: RE: [EXT] Recombo plat

Good Morning,

I have spoken to Josh and he stated that he will send a response for the questions regarding the plat status.

Thank you,

Jennifer Frixen

Associate Planner, Subdivision Services

Charlotte Planning, Design & Development

City of Charlotte

600 E. Fourth Street, 8th Floor, Charlotte, NC 28202

D: 704-336-8328 | M: 704-336-2205

jfrixen@charlottenc.gov

Creating Great Places for Our Community

From: Chris Robusto [<mailto:crobusto@livewellhomes.net>]

Sent: Wednesday, August 22, 2018 10:36 AM

To: Frixen, Jennifer

Cc: Greg Whitehead

Subject: RE: [EXT] Recombo plat

EXTERNAL EMAIL: This email originated from the Internet. Do not click any images, links or open any attachments unless you recognize and trust the sender and know the content is safe.

Jennifer,
Greg is copied on this email. You can reply to him directly. The email he sent to Josh below.
Chris

From: Greg Whitehead
Sent: Monday, August 20, 2018 3:35 PM
To: 'jfweaver@ci.charlotte.nc.us' <jfweaver@ci.charlotte.nc.us>; Mike Kenney <mkenney@kenneydesign.com>; Frye, Shannon <swfrye@ci.charlotte.nc.us>
Cc: Chris Robusto <crobusto@livewellhomes.net>
Subject: FW: Country Lane

Shannon and Josh,
I have not heard back on the recombination plat issue that is holding up the approval of the plans. I understand from Mike Kenny that we have followed the state statues in regards to this project. I am suppose to close on the property after the permits are issued and as you can imagine the seller is wanting this done asap. The property owners wants a meeting with their attorney. If this plan is not approved can you please email me the reason why and additionally send me a time for a group meeting.

From: Mike Kenney <mkenney@kenneydesign.com>
Sent: Monday, August 13, 2018 12:50 PM
To: jfweaver@ci.charlotte.nc.us
Cc: Greg Whitehead <greg@cornerstonedevelopment.net>
Subject: Country Lane

Josh, just checking on the "Chelsea off Providence" subdivision. I know you were holding it up on the recombination plat and Chris Fauld said that Jennifer said it was part of the subdivision but it clearly is a recombination since the subdivision really doesn't mean anything until the final plat cuts the lot up, so why can't the property owner recombine the property prior to the sale of the property to Greg Whitehead?

Mike Kenney
Kenney Design Group
1216 Parsons Trail
Denver, NC 28037

704/377-6099
704/634-7186 (cell)

From: Chris Robusto
Sent: Wednesday, August 22, 2018 10:09 AM
To: 'Frixen, Jennifer' <jfrixen@ci.charlotte.nc.us>
Subject: RE: [EXT] Recombo plat

Yes, understood. Thank you.

From: Frixen, Jennifer <jfrixen@ci.charlotte.nc.us>
Sent: Wednesday, August 22, 2018 10:03 AM
To: Chris Robusto <crobusto@livewellhomes.net>
Subject: RE: [EXT] Recombo plat

Chris,

Josh and I are currently working on a response to a gentleman by the name of Greg Whitehead that has also reached out regarding this project. Are you/Have you been in contact with him as well?

Thanks,

Jennifer Frixen

Associate Planner, Subdivision Services

Charlotte Planning, Design & Development

City of Charlotte

600 E. Fourth Street, 8th Floor, Charlotte, NC 28202

D: 704-336-8328 | M: 704-336-2205

jfrixen@charlottenc.gov

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From: Chris Robusto [<mailto:crobusto@livewellhomes.net>]
Sent: Tuesday, August 21, 2018 7:50 AM
To: Frixen, Jennifer
Cc: Weaver, Joshua
Subject: [EXT] Recombo plat

EXTERNAL EMAIL: This email originated from the Internet. Do not click any images, links or open any attachments unless you recognize and trust the sender and know the content is safe.

Jennifer, good morning. I am working on the attached project and would like to visit with you on Wednesday, do you have a time that works better? Below is communication associated with the project.

Thank you

Chris

From: Frixen, Jennifer <jfrixen@ci.charlotte.nc.us>
Sent: Tuesday, July 24, 2018 9:08 AM

To: Chris Faulk <cfaulk@metroesa.com>

Subject: 4600 County Ln Plat -00271

Chris,

I talked to Josh about this one yesterday and he said he'd give you a call to discuss the status of this plat and the subdivision plan that's currently in for review with this lot/these lots in question. From my understanding, the recombination plat cannot be approved as a NST and both of these lots are subject to the ordinance per the plan in for review. He can better explain the status of this if you'd like to reach out to him: 704-336-5720 or jfweaver@charlottenc.gov.

If you'd like to withdraw the plat and request a refund, let me know.

Thanks,

Jennifer Frixen

Associate Planner, Subdivision Services

Charlotte Planning, Design & Development

City of Charlotte

600 E. Fourth Street, 8th Floor, Charlotte, NC 28202

D: 704-336-8328 | M: 704-336-2205

jfrixen@charlottenc.gov

Creating Great Places for Our Community

Chris Robusto

crobusto@LiveWellHomes.net

704-574-0316 cell

888-314-1361 efax

www.livewellhomes.net

308 Springcrest Drive

Fort Mill, SC 29715

<image001.jpg>

<NC Statutes on Subdivisions.pdf>

Flotree, Cheyenne

From: Weaver, Joshua
Sent: Tuesday, September 11, 2018 1:02 PM
To: Campbell, Debra
Subject: RE: [EXT] Recombo plat. SDRSF-2018-00007

Debra,

Is there a time after 2:30 that you have a few minutes to discuss this project.

Josh

From: Campbell, Debra
Sent: Monday, September 10, 2018 6:55 PM
To: Greg Whitehead
Cc: Wilkinson, Brent; Weaver, Joshua
Subject: Re: [EXT] Recombo plat. SDRSF-2018-00007

Thanks for your email. I am copying Brent Wilkinson and Josh Weaver to discuss this. We will try to get a response as soon as possible.

Josh or Brent please update me at your earliest convenience.

Thanks!

Sent from my iPhone

On Sep 10, 2018, at 4:22 PM, Greg Whitehead <greg@cornerstonedevelopment.net> wrote:

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Debra

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I understand that staff are overloaded. Please see below and review the file ... sdrsf--- 2018 -0007

Jennifer

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Kenny who said that the recombination plat is permitted by state statute and may not even require a stamp. I read the statute and agree with the interpretation. Our entire plan evolves around the recombination plat.

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I apologize in advance as it does appear to the seller that I am stalling. They frankly don't believe that city would sit on a stamp to a **recombination plat from July 24th**.

Please advise ---- We are available anytime for a meeting. That notwithstanding, I need a written answer while we are awaiting a meeting time.

From: Frixen, Jennifer <jfrixen@ci.charlotte.nc.us>

From: Greg Whitehead

Sent: Wednesday, August 22, 2018 12:14 PM

To: Frixen, Jennifer <jfrixen@ci.charlotte.nc.us>; Chris Robusto <crobusto@livewellhomes.net>

Subject: RE: [EXT] Recombo plat

Jen

I hope we can get this approved. I am the developer and suppose to close on the property after the recombination plat is recorded. The seller has engaged an attorney. The seller engaged the attorney for another matter but now that the closing is being held up, the attorney believes that the seller is entitled to the recording of the plat per the state statute.

From: Frixen, Jennifer <jfrixen@ci.charlotte.nc.us>

Sent: Wednesday, August 22, 2018 11:56 AM

To: Chris Robusto <crobusto@livewellhomes.net>

Cc: Greg Whitehead <greg@cornerstonedevelopment.net>

Subject: RE: [EXT] Recombo plat

Good Morning,

I have spoken to Josh and he stated that he will send a response for the questions regarding the plat status.

Thank you,

Jennifer Frixen

Associate Planner, Subdivision Services

Charlotte Planning, Design & Development

City of Charlotte

600 E. Fourth Street, 8th Floor, Charlotte, NC 28202

D: 704-336-8328 | M: 704-336-2205

jfrixen@charlottenc.gov

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From: Chris Robusto [<mailto:crobusto@livewellhomes.net>]
Sent: Wednesday, August 22, 2018 10:36 AM
To: Frixen, Jennifer
Cc: Greg Whitehead
Subject: RE: [EXT] Recombo plat

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Jennifer,
Greg is copied on this email. You can reply to him directly. The email he sent to Josh below.
Chris

From: Greg Whitehead
Sent: Monday, August 20, 2018 3:35 PM
To: 'jfweaver@ci.charlotte.nc.us' <jfweaver@ci.charlotte.nc.us>; Mike Kenney <mkenney@kenneydesign.com>; Frye, Shannon <swfrye@ci.charlotte.nc.us>
Cc: Chris Robusto <crobusto@livewellhomes.net>
Subject: FW: Country Lane

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From: Mike Kenney <mkenney@kenneydesign.com>
Sent: Monday, August 13, 2018 12:50 PM
To: jfweaver@ci.charlotte.nc.us
Cc: Greg Whitehead <greg@cornerstonedevelopment.net>
Subject: Country Lane

Josh, just checking on the "Chelsea off Providence" subdivision. I know you were holding it up on the recombination plat and Chris Fauld said that Jennifer said it was part of the subdivision but it clearly is a recombination since the subdivision really doesn't mean anything until the final plat cuts the lot up, so why can't the property owner recombine the property prior to the sale of the property to Greg Whitehead?

Mike Kenney
Kenney Design Group
1216 Parsons Trail
Denver, NC 28037

704/377-6099
704/634-7186 (cell)

From: Chris Robusto
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To: 'Frixen, Jennifer' <jfrixen@ci.charlotte.nc.us>
Subject: RE: [EXT] Recombo plat

Yes, understood. Thank you.

From: Frixen, Jennifer <jfrixen@ci.charlotte.nc.us>
Sent: Wednesday, August 22, 2018 10:03 AM
To: Chris Robusto <crobusto@livewellhomes.net>
Subject: RE: [EXT] Recombo plat

Chris,

Josh and I are currently working on a response to a gentleman by the name of Greg Whitehead that has also reached out regarding this project. Are you/Have you been in contact with him as well?

Thanks,

Jennifer Frixen

Associate Planner, Subdivision Services

Charlotte Planning, Design & Development

City of Charlotte

600 E. Fourth Street, 8th Floor, Charlotte, NC 28202

D: 704-336-8328 | M: 704-336-2205

jfrixen@charlottenc.gov

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From: Chris Robusto [<mailto:crobusto@livewellhomes.net>]
Sent: Tuesday, August 21, 2018 7:50 AM
To: Frixen, Jennifer
Cc: Weaver, Joshua
Subject: [EXT] Recombo plat

EXTERNAL EMAIL: This email originated from the Internet. Do not click any images, links or open any attachments unless you recognize and trust the sender and know the content is safe.

Jennifer, good morning. I am working on the attached project and would like to visit with you on Wednesday, do you have a time that works better? Below is communication associated with the project.

Thank you

Chris

From: Frixen, Jennifer <jfrixen@ci.charlotte.nc.us>
Sent: Tuesday, July 24, 2018 9:08 AM
To: Chris Faulk <cfaulk@metroesa.com>
Subject: 4600 County Ln Plat -00271

Chris,

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If you'd like to withdraw the plat and request a refund, let me know.

Thanks,

Jennifer Frixen
Associate Planner, Subdivision Services
Charlotte Planning, Design & Development
City of Charlotte
600 E. Fourth Street, 8th Floor, Charlotte, NC 28202
D: 704-336-8328 | M: 704-336-2205
jfrixen@charlottenc.gov

Creating Great Places for Our Community

Chris Robusto
crobusto@LiveWellHomes.net
704-574-0316 cell
888-314-1361 efax
www.livewellhomes.net
308 Springcrest Drive
Fort Mill, SC 29715
<image001.jpg>

<NC Statutes on Subdivisions.pdf>

Flotree, Cheyenne

From: Greg Whitehead <greg@cornerstonedevelopment.net>
Sent: Thursday, August 31, 2017 1:21 PM
To: Weaver, Joshua
Subject: Re:

Josh
What about using the same termination that is shown on the drawing

Get [Outlook for iOS](#)

From: Weaver, Joshua
Sent: Thursday, August 31, 2017 12:28:57 PM
To: Greg Whitehead
Cc: Alzate, Carlos
Subject: RE:

Greg,
Country In would need to be improved to the limits of your property, and an acceptable turn around would need to be provided. There maybe other design options, however just stopping the road improvements at the intersection would not meet ordinance requirements.

Joshua Weaver
Principal Planner
Subdivision
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
600 East Fourth Street Charlotte, NC 28202
PH: 704.336.5720
jfweaver@charlottenc.gov
www.charlottenc.gov

From: Greg Whitehead [mailto:greg@cornerstonedevelopment.net]
Sent: Tuesday, August 29, 2017 3:51 PM
To: Weaver, Joshua
Subject: FW:

Hi
I have a design question. – lots 9 and 10 are marginal quality lots. If I were not to develop lots 9 and 10 – how can I terminate the roadway at the intersection to avoid the additional roadway that runs down to lots 9 and 10

Flotree, Cheyenne

From: Boenisch, Jeffrey
Sent: Wednesday, April 4, 2018 12:43 PM
To: Weaver, Joshua
Subject: RE: Proposed Country Ln Subdivison

Thanks Josh.

From: Weaver, Joshua
Sent: Wednesday, April 04, 2018 12:04 PM
To: Boenisch, Jeffrey
Subject: Proposed Country Ln Subdivison

Jeff,

Here is the siteplan for Mr. Whitehead's project. Please let me know if you need anything else.

Josh

Flotree, Cheyenne

From: Greg Whitehead <greg@cornerstonedevelopment.net>
Sent: Friday, February 9, 2018 3:15 PM
To: Frye, Shannon
Subject: RE: Country Lane

Any thoughts on the emails below -

From: Greg Whitehead
Sent: Tuesday, February 6, 2018 1:47 PM
To: Frye, Shannon <swfrye@ci.charlotte.nc.us>
Subject: FW: Country Lane

Shannon
See below ---- I really need some help on this

From: Greg Whitehead
Sent: Thursday, February 01, 2018 7:05 PM
To: Frye, Shannon <swfrye@ci.charlotte.nc.us>
Subject: RE: Country Lane

Shannon
I was hoping to speak with you regarding this situation.

The Craig's are very passionate about this situation as you can likely understand. They have placed a fence across the roads on the north side of Country Lane blocking us from our property. They have also hired a attorney to argue that the ROW is invalid (they honestly have presented an interesting case). He is also arguing that the city has previously agreed not to open the road. After understanding the cities position he purchase his current home site.

Again, thank you for assuring him that I am planning to develop the approved sketch plan as I believe that move the ball forward. He is not satisfied at this time in regards to his last request to abandon the ROW.

That said, I have a couple of requests: 1) while we are trying to get him to remove the fence and additionally drop his claim, can you allow your staff to start reviewing the plans prior to pay the review fees. Get the approval on the plans along with the second items will resolve the Craig's concerns. I don't feel comfortable paying the review fee while this is pending. 2) Assuming my plans are approved, the Craig's seem to be interested in dropping the case if they are able to purchase some of the land from the parcel I am developing. The parcel is just south of their homesite. That said, I have more open space, tree save and nature areas than required. Can you allow me to deed restrict these area, restricted the areas with notations on the plats and let the Craig's own this parcel? This would be as opposed to deeding the parcel over to a HOA or LLC.

Please advise

From: Frye, Shannon [<mailto:swfrye@ci.charlotte.nc.us>]
Sent: Thursday, February 1, 2018 5:24 PM
To: Greg Whitehead <greg@cornerstonedevelopment.net>
Cc: Craig, Gina <gina.craig@nuveen.com>; Craig, Eric E <Eric.Craig@tiaa.org>; Weaver, Joshua <jfweaver@ci.charlotte.nc.us>
Subject: Country Lane

I want to advise that I have spoken with Mr. Craig at length. I am drafting a response to confirm that the City will not require improvements with your development proposal to construct or complete improvements to Country Lane that create a through connection. I have also advised and will document that the City would not support a request for this portion of Country Lane to be abandoned.

I will certainly copy you on this correspondence. I hope to have this disseminated by the COB tomorrow 2/2.

Best Regards,

Shannon W. Frye

Planning Manager

Charlotte Mecklenburg Planning Department

600 East Fourth Street, Charlotte, NC 28202

704.336.8322

www.charlottenc.gov

Flotree, Cheyenne

From: Craig, Eric E <Eric.Craig@tiaa.org>
Sent: Friday, February 2, 2018 10:41 AM
To: Frye, Shannon; greg@cornerstonedevelopment.net
Cc: Craig, Gina; Weaver, Joshua
Subject: RE: Country Lane

Follow Up Flag: Follow up
Flag Status: Flagged

Thank you all for working with us through this process over the years.

Eric Craig
AML Officer TIAA Life & CREF
AML Governance Compliance Director | Advocacy & Oversight
TIAA | Financial Services
704-988-8008 (Office)
eric.craig@tiaa.org

From: Frye, Shannon [mailto:swfrye@ci.charlotte.nc.us]
Sent: Thursday, February 01, 2018 5:24 PM
To: greg@cornerstonedevelopment.net
Cc: Craig, Gina; Craig, Eric E; Weaver, Joshua
Subject: Country Lane

I want to advise that I have spoken with Mr. Craig at length. I am drafting a response to confirm that the City will not require improvements with your development proposal to construct or complete improvements to Country Lane that create a through connection. I have also advised and will document that the City would not support a request for this portion of Country Lane to be abandoned.

I will certainly copy you on this correspondence. I hope to have this disseminated by the COB tomorrow 2/2.

Best Regards,
Shannon W. Frye
Planning Manager
Charlotte Mecklenburg Planning Department
600 East Fourth Street, Charlotte, NC 28202
704.336.8322
www.charlottenc.gov

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If you are not the intended recipient, please notify the sender immediately and then delete it.

TIAA

Flotree, Cheyenne

From: Greg Whitehead <greg@cornerstonedevelopment.net>
Sent: Thursday, February 1, 2018 7:05 PM
To: Frye, Shannon
Subject: RE: Country Lane

Shannon

I was hoping to speak with you regarding this situation.

The Craig's are very passionate about this situation as you can likely understand. They have placed a fence across the roads on the north side of Country Lane blocking us from our property. They have also hired a attorney to argue that the ROW is invalid (they honestly have presented an interesting case). He is also arguing that the city has previously agreed not to open the road. After understanding the cities position he purchase his current home site.

Again, thank you for assuring him that I am planning to develop the approved sketch plan as I believe that move the ball forward. He is not satisfied at this time in regards to his last request to abandon the ROW.

That said, I have a couple of requests: 1) while we are trying to get him to remove the fence and additionally drop his claim, can you allow your staff to start reviewing the plans prior to pay the review fees. Get the approval on the plans along with the second items will resolve the Craig's concerns. I don't feel comfortable paying the review fee while this is pending. 2) Assuming my plans are approved, the Craig's seem to be interested in dropping the case if they are able to purchase some of the land from the parcel I am developing. The parcel is just south of their homesite. That said, I have more open space, tree save and nature areas than required. Can you allow me to deed restrict these area, restricted the areas with notations on the plats and let the Craig's own this parcel? This would be as opposed to deeding the parcel over to a HOA or LLC.

Please advise

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Cc: Craig, Gina <gina.craig@nuveen.com>; Craig, Eric E <Eric.Craig@tiaa.org>; Weaver, Joshua <jfweaver@ci.charlotte.nc.us>
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Flotree, Cheyenne

From: Craig, Eric E <Eric.Craig@tiaa.org>
Sent: Thursday, February 22, 2018 4:37 PM
To: Frye, Shannon; greg@cornerstonedevelopment.net
Cc: Craig, Gina; Weaver, Joshua
Subject: RE: Country Lane

Shannon – Just another follow up. Please let me know if you plan on responding so I can manage expectations accordingly with my lawyer and the developer.

Thank you!

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From: Craig, Eric E
Sent: Monday, February 12, 2018 9:56 AM
To: 'Frye, Shannon'; greg@cornerstonedevelopment.net
Cc: Craig, Gina; Weaver, Joshua
Subject: RE: Country Lane

Shannon – I wanted to follow up to see when we can expect the formal response. Mr. Whitehead and I are working diligently towards a mutual agreement and this response is one component that will make it easier for me and my wife to move forward.

Please let me know if you have any questions or concerns.

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TIAA

Flotree, Cheyenne

From: Boenisch, Jeffrey
Sent: Tuesday, June 5, 2018 11:29 AM
To: Cuberson, Dana
Cc: Horltdt, Bruce; Smith, David; Quinn, Johanna
Subject: RE: Country Lane (fence obstruction)

Dana:

I received a phone call from a Mr. Brian Ernst with the Law Firm of Kenneth T. Davies who is representing the property owner(s) circled in the image below. Mr. Ernst was looking to find additional facts regarding the Country Lane right-of-way. The party that he represents expressed an interest in proving that the status of certain portions of Country Lane were privately owned.

I was not able to address specific details as to what was and was not legally present; however, I did use parts of your e-mail below to state our position to the unmaintained portion(s) of the right-of-way itself, which also included our position to the existing (fence) obstruction. Following that, I was asked to provide your contact information to Mr. Ernst.

In that, I wanted to give you a heads-up that you may be contacted about this matter.

Please feel free to reach out to me directly should you want to discuss further.



Thanks,

Jeff Boenisch
Right-of-Way Coordinator

Charlotte Department of Transportation
Development Services Division

(o) 704 336-3888
(f) 704 336-4400

From: Cuberson, Dana
Sent: Monday, April 23, 2018 10:18 AM
To: Boenisch, Jeffrey
Cc: Johnson, Carolyn
Subject: Country Lane (fence obstruction)

Hi Jeff,

I am following up on our meeting in this matter. As I understand the issue, a developer has requested that the City remove a fence erected by a private property owner on a non-City maintained portion of Country Lane. I understand that City staff has already expressed to the developer that it does not have any interest in unaccepted/non-City maintained rights-of-way, and hence, the dispute regarding the fence is more properly resolved between the developer and the private property owner who refuses to move the fence.

My office has conducted more research regarding this matter. The available research supports the City's previously expressed position that this issue is one amongst private property owners, and the City need not intervene. Therefore, under these facts, I am comfortable with staff maintaining its current position in this matter if the developer continues to request that the City remove the fence.

If you are aware of any new facts regarding this issue or would otherwise like to discuss further, please let me know.

Thank you,
Dana



Dana Clemons Cuberson

ASSISTANT CITY ATTORNEY
OFFICE OF THE CITY ATTORNEY

Office: 704.336.5803 | Facsimile: 704-632-8591

Dana.Cuberson@charlottenc.gov | www.charlottenc.gov

Flotree, Cheyenne

From: Greg Whitehead <greg@cornerstonedevelopment.net>
Sent: Thursday, February 22, 2018 6:09 PM
To: Craig, Eric E; Frye, Shannon
Cc: Craig, Gina; Weaver, Joshua
Subject: RE: Country Lane AKA City of Charlotte for Chelsea off Providence, SDRSF-2018-00007

Shannon

Just following up on Mr. Craig's email below.

You may recall that around a month ago you had sent an email indicating that you would provide a more formal email the following day. The abbreviated email indicated that you would not require a connection through the Smith families front yard. This email is what Mr. Smith is requesting.

I really think it's in all of our interest to providing the Smith family the promised email. This should ensure them that our project will not adversely impact their homesite.

I am also requesting that you ask your staff to review the plans under a schedule that would have been possible should we not run into this snag. These plans were submitted 6 weeks ago and have been held pending the aforementioned email and further in corporation with a verbal agreement with Eric. The approved plans will also provide the Smith family insurance that we are building a road system per the approved plan and most importantly that the roadway will not impact there homesite.

Thanks you in advance ...

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Sent: Thursday, February 22, 2018 4:37 PM
To: Frye, Shannon <swfrye@ci.charlotte.nc.us>; Greg Whitehead <greg@cornerstonedevelopment.net>
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